FLAWLESS FLOORS

TAX MAP F LOT 4-3

BROOKLINE, NEW HAMPSHIRE

FEBRUARY 14, 2023

MUNICIPAL CONTACTS:

TOWN PLANNER
MICHELE DECOTEAU
1 MAIN STREET
BROOKLINE, NH 03033
(603) 673-8855 X215

FIRE DEPARTMENT
CHARLIE COREY, CHIEF
4 BOND STREET
PO BOX 660
BROOKLINE, NH 03033
(603) 672-8531 (NON EMERGENCY)

POLICE DEPARTMENT
WILLIAM QUIGLEY III, CHIEF
3 POST OFFICE DRIVE
PO BOX 341
BROOKLINE, NH 03033
(603) 673-3755 (NON-EMERGENCY)

BUILDING INSPECTOR
STEVE SACHERSKI
1 MAIN STREET
BROOKLINE, NH 03033
(603) 673-8855 x212

UTILITY PROVIDERS:

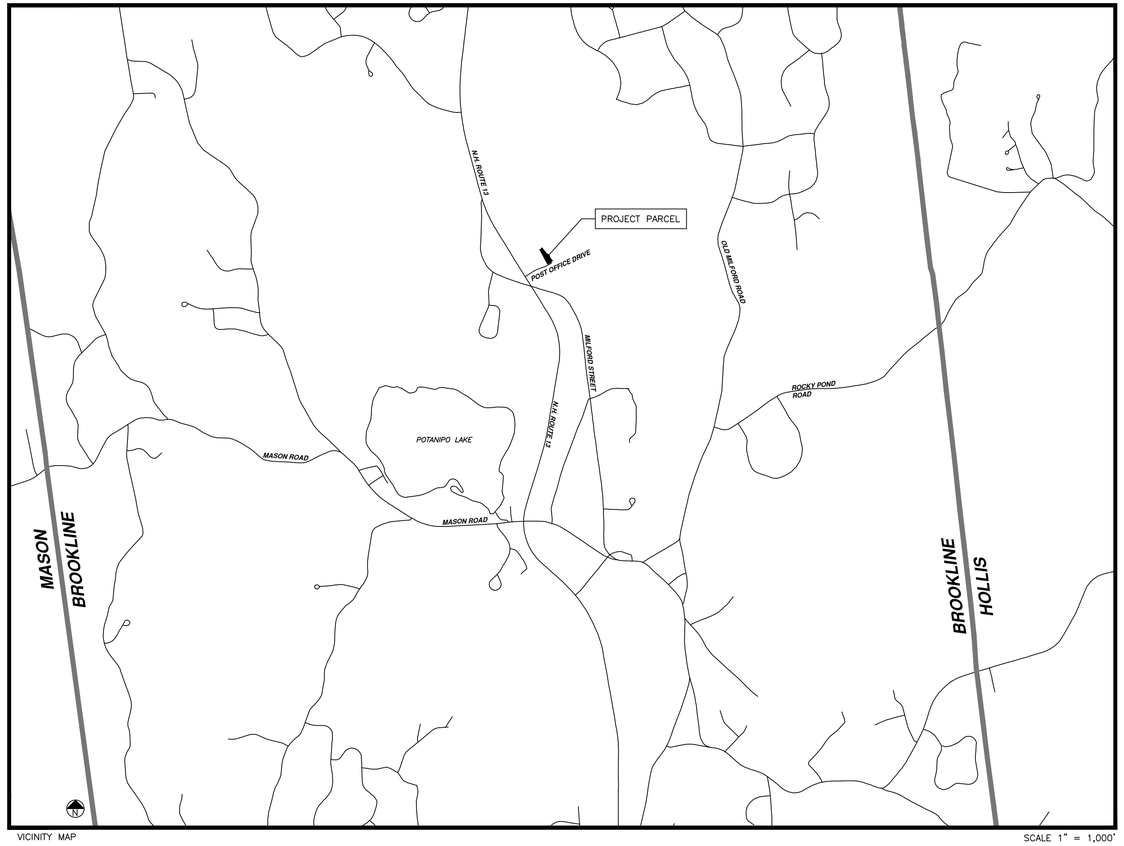
ELECTRIC
EVERSOURCE
370 AMHERST ST.
NASHUA, NH 03063
(603) 662-7764

CABLE
SPECTRUM
443 WEST ST STE #12
KEENE, NH 03431
(888) 406-7063

PROFESSIONAL CONTACTS:

CIVIL ENGINEER
SAMUEL R. FOISIE, PE
MERIDIAN LAND SERVICES, INC.
PO BOX 118
MILFORD, NH 03055
(603) 673-1441

LAND SURVEYOR
SAMUEL D. INGRAM, LLS
MERIDIAN LAND SERVICES, INC.
PO BOX 118
MILFORD, NH 03055
(603) 673-1441



VICINITY MAP

SCALE 1" = 1,000'

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ATTACHMENTS:

A	SD-1	SIGHT DISTANCE EXHIBIT
B	ART-1	RENDERED SITE PLAN

PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

1. BROOKLINE SITE PLAN APPLICATION – PERMIT # TBD – STATUS: [PENDING]
2. BROOKLINE DRIVEWAY PERMIT APPLICATION – PERMIT # TBD – STATUS: [PENDING]
3. NHDES CONSTRUCTION APPROVAL (SEPTIC) – PERMIT # TBD – STATUS: [PENDING]

WAIVERS:

1. WAIVER FROM SECTION 4.6.03.b OF THE BROOKLINE, NH SITE PLAN REGULATIONS– STATUS: [APPROVED, DATED 3/15/2023]
2. WAIVER FROM SECTION 6.1.01i OF THE BROOKLINE, NH SITE PLAN REGULATIONS– STATUS: [APPROVED, DATED 3/15/2023]

OWNER'S SIGNATURE:

OWNERS SIGNATURE _____ *FEBRUARY 14, 2023* *DATE*

APPLICANT:
IAN & ELIZABETH SARBACKER
29 BROOKLINE STREET
PEPPERELL, MA 01463

OWNER:
IAN & ELIZABETH SARBACKER
29 BROOKLINE STREET
PEPPERELL, MA 01463

Issued For: PLANNING BOARD REVIEW
FEBRUARY 14, 2023

APPROVED BY BROOKLINE PLANNING BOARD
ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____ .

MERIDIAN DESIGN PROFESSIONALS:

LLS

PE

MERIDIAN
LAND SERVICES, INC.
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1584

REV.	DATE	DESCRIPTION	DR	CK
I	--	--	--	--
H	--	--	--	--
G	--	--	--	--
F	--	--	--	--
E	--	--	--	--
D	--	--	--	--
C	--	--	--	--
B	4/4/2023	STAFF & PB COMMENTS	--	--
A	3/3/2023	TOWN REVIEW COMMENTS	BLR	SRF

Plotted: 4/4/2023 1:09 PM By: BLR
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PURPOSE OF PLAN :

1. THE APPLICANT INTENDS TO CONSTRUCT A 2,000 +/– SF BUILDING CONSISTING OF WAREHOUSING, OFFICE/SHOWROOM, AND ASSOCIATED SITE IMPROVEMENTS ON TAX MAP & LOT F–4–3.

NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTION ACCORDING TO AGENCY INSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO DEWATER IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF BROOKLINE APPLICABLE REGULATIONS AND ORDINANCES AND OTHER VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, INCLUDING LANDSCAPING.
4. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
6. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT IS NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER CONTRACTOR'S AND UTILITY COMPANIES.
7. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT SPECIFICATIONS THERETO.
8. CONTRACTOR SHALL REVIEW SOIL REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
9. AT LEAST 3 WORKING DAYS (72 HOURS) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR SHALL USE EACH PLAN IN CONJUNCTION WITH THE ENTIRE SET OF DRAWINGS AND JOB SPECIFICATIONS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
11. ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY EFFECT THE OVERALL PROJECT.
12. CONTRACTOR MUST CONSULT WITH APPLICABLE TOWN STAFF AND/OR THE PLANNING BOARD PRIOR TO ANY DEVIATION FROM THE PLAN. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FORM TOWN STAFF PRIOR TO ABY DEVIATION FROM THE PLAN. AS–BUILT PLANS MAY BE REQUIRED.
13. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
14. UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NO REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
16. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING INTERNAL AND EXTERIOR DIMENSIONS.

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS NOT RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS INVOLVED AND IS RESPONSIBLE FOR REMOVING AND DUMPING THE DEBRIS IN AN APPROVED, LAWFUL MANNER.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH APPLICABLE UTILITY COMPANIES. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE EXISTING ADJACENT BUSINESSES AT ALL TIMES.
4. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INVOLVED IN THE REMOVAL OR RELOCATION OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH APPLICABLE UTILITY COMPANIES.
5. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED TO CARRY OUT THE WORK AS SHOWN ON THIS PLAN.
6. IF SITE IS OCCUPIED BY EXISTING STRUCTURES, STORM LINES, PAVEMENT, POWER POLES AND UTILITIES. IT IS CONTRACTORS' RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES THAT MAY HAVE UTILITIES ON THE SITE TO GET A DETERMINATION IF ANY UTILITIES EXISTING WILL BE IMPACTED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF THE UTILITIES SHOULD BE ABANDONED OR REMOVED.
7. CONTRACTOR IS RESPONSIBLE FOR WALKING SITE AND DETERMINING EXTENTS OF DEMOLITION WORK PRIOR TO BID DATE.
8. EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.
9. PRIOR TO ANY WORK ONSITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 888–344–7233. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY REMOVALS WHETHER LOCATED BY DIG SAFE OR NOT. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRICAL SERVICES ON SITE WITH THE POWER COMPANY. POWER COMPANY IS RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF EXISTING SERVICES.

SITE PLAN:

1. CONTRACTOR SHALL REFER TO PLANS BY ARCHITECT FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPE PAVING & SIDEWALKS CONNECTIONS, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. ALL UNSURFACED AREAS ARE TO RECEIVE A MINIMUM OF FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, AND WATERED UNTIL A HEALTHY STAND OF GRASS OR LANDSCAPING IS OBTAINED AS PER THE LANDSCAPE PLAN.
3. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE–INS/CONNECTIONS TO THEIR FACILITIES.
5. SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
6. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
7. ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
10. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, , ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
11. CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES ADJACENT TO DRIVE AREAS.
12. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
13. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND IMPROVEMENTS SHALL BE CONSTRUCTED TO THE SAME.
14. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.

LAYOUT AND MATERIALS:

1. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDINGS, FACE OF WALLS, CENTER OF PIPE, AND CENTER OF PAVEMENT MARKINGS, UNLESS OTHERWISE INDICATED, AND AS FOLLOWS:
   a. SIDEWALK WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK;
   b. PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
2. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE INDICATED.
3. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) UNLESS OTHERWISE INDICATED.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT STRUCTURE DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, STAIRWAYS, ENTRANCES, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. ALL BUILDING LOCATION DIMENSIONS ARE TO THE FACE OF THE STRUCTURAL.
6. EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS).
7. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET. THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING CONSTRUCTION.
8. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
9. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
10. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS. BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

GRADING:

1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY MERIDIAN LAND SERVICES. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. EXISTING GRADE CONTOURS INTERVAL SHOWN AT TWO FOOT (2').
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
6. FINISHED GRADE CONTOUR INTERVALS SHOWN AT TWO FOOT (2') AND/OR ONE FOOT (1'). FINISH GRADE CONTOURS ARE SUPPLEMENTED WITH SPOT ELEVATIONS.
7. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE A MINIMUM 4 INCHES OF TOPSOIL, SEED, MULCH, WATER, ETC. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE LANDSCAPE PLAN SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
9. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
10. ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
11. REFERENCE STRUCTURAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD PREPARATION AND COMPACTION.

PAVING NOTES:

1. DUMPSTER PAD TO BE 6" THICK 4000 PSI W/ FIBER MESH AND #5 REBAR PLACED 18 INCHES ON CENTER EACH WAY.
2. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
3. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1990.
4. PAVING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR THE BUILDING AND THE DUMPSTER PAD.
5. ALL DISCREPANCIES FOUND BY CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF OWNER AND ENGINEER PRIOR TO PLACEMENT OF ANY PAVING. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN SUBGRADE OF AREAS TO BE PAVED AND NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND PRIOR TO INSTALLATION OF ANY PAVING.
6. EXISTING MANHOLE TOPS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES. IF NECESSARY, RE–ADJUSTMENTS SHALL BE PERFORMED UPON COMPLETION OF PAVING AND FINE GRADING TO ENSURE A SMOOTH TRANSITION.
7. COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATION OUTLINED IN THE DETAILS.

SIGNAGE AND MARKING NOTES:

1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE N.H.D.O.T. STANDARDS.
3. ALL STOP SIGN LOCATIONS SHALL INCLUDE A 18" THICK PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE. ALL OTHER STRIPING SHALL BE 4" THICK PAINTED YELLOW UNLESS OTHERWISE NOTED
4. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING.
5. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF NEW HAMPSHIRE TRAFFIC CONTROL.
6. ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
7. PAVEMENT MARKINGS WITHIN THE NHDOT RIGHTS–OF–WAY AND/OR ASSOCIATED WITH A NHDOT DRIVEWAY SHALL BE THERMOPLASTIC.
8. PAVEMENT MARKINGS SHALL EXTEND BEYOND PROJECT PAVING LIMITS TO OVERLAP EXISTING MARKINGS DISTURBED BY CONSTRUCTION.
9. SSLW = SINGLE SOLID LINE WHITE
   SSLY = SINGLE SOLID LINE YELLOW

EROSION CONTROL NOTES:

1. SEDIMENT AND EROSION CONTROL FACILITIES AND CONTROLS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION. SEE EROSION CONTROL PLAN AND DETAILS ON SHEET D–1.
2. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
3. THE EROSION CONTROL MEASURES SHOWN HEREON ARE DIAGRAMMATIC, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLACE THE APPRORIATE CONTROL MEASURES IN THE BEST SUITED LOCATIONS.
4. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
5. THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.
6. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
7. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
8. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN UNPAVED AREA, THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTAION SHALL NOT AFFECT REGULATORY PROTECTED AREAS WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITY.
10. THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE CONVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
11. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
12. AREAS REMAINED UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1–1/2 TONS/ACRE.
13. PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
14. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER OR OTHER INDUSTRY APPROVED STANDARD METHODS.
15. SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TERMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR SILT SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.
16. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).
17. THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.
18. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
    a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT WEIGHT;
    b. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
    c. A MIMUM OF 3–IN OF NON EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
    d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
    e. THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.
19. AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.
20. ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
21. ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING LOTS SHALL BE STABILIZED WITH 72 HOURS OF ACHIEVING FINISHED GRADE.
22. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITH 72 HOURS OF ACHIEVING FINISHED GRADE.
23. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3–FT HORIZONTAL TO 1–FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.
24. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
25. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
26. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
27. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
28. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
29. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NHDES STORMWATER REQUIREMENTS AND THE SWPPP. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
30. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
31. CONTRACTOR SHALL INSPECT ON A DAILY BASIS FOR NEEDED REMOVAL OF ANY ACCUMULATED SILTS, DEBRIS, OR REPAIR OF DAMAGED SILT FENCE AT NO ADDITIONAL EXPENSE TO OWNER.
32. PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.

STORM DRAINAGE NOTES:

1. ALL PIPES ENTERING STORM DRAIN STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
2. REFERENCE DETAIL SHEETS FOR CONSTRUCTION DETAILS.

UTILITY NOTES:

1. SITE IS SERVED BY ON SITE INDIVIDUAL WASTEWATER DISPOSAL SYSTEM DESIGNED AND ONSITE WELL DESIGNED AND PERMITTED BY SOILSMITH DESIGNS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE–INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
4. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
5. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6. SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
7. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
8. CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON–SHRINKING GROUT TO ASSURE CONNECTION IS WATERTIGHT.
9. CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
10. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
11. SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THIS INCLUDES FEES INCURRED THROUGH RESCHEDULING OF ANY VENDORS OR EQUIPMENT TO ACCOMMODATE.
12. CONTRACTOR TO COORDINATE WITH SIGNAGE CONTRACTOR AND ARCHITECT FOR EXACT LOCATION OF SIGNAGE, REQUIRED ELECTRICAL CONDUITS, FOUNDATIONS, ETC.

POWER NOTES:

1. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
2. ALL PRIMARY AND SECONDARY SERVICE LOCATIONS ARE APPROXIMATE AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE POWER COMPANY, TO DETERMINE EXACT LOCATION AND RESPONSIBILITIES INCLUDING COST.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL NECESSARY CONDUIT AND PULL WIRE ON–SITE UP TO PROPERTY. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE SERVICE LINES WITH THE POWER COMPANY.

TELEPHONE NOTES:

1. ALL PHONE LINE LOCATIONS ARE APPROXIMATE AND SHOWN FOR COORDINATION PURPOSES ONLY. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE PVC CONDUIT INCLUDING TRENCHING BEDDING, PULL WIRE, AND BACKFILLING. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE TELEPHONE COMPANY TO SCHEDULE AND COORDINATE WORK PRIOR TO INSTALLING CONDUIT.

GENERAL CONTRACTOR NOTES:

1. GENERAL CONTRACTOR AND ALL BIDDING SPECIALTY CONTRACTORS ARE RESPONSIBLE TO ADHERE TO ALL KNOWN PERMIT REQUIREMENTS BY BASE BID.
2. GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PERMIT REQUIREMENTS TO SPECIALTY SUB–CONTRACTORS.
3. GENERAL CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE IN GOOD CONDITION FOR DURATION OF CONSTRUCTION.
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO OFF–SITE LANDSCAPING AND SHALL REPAIR AFFECTED AREAS BACK TO EXISTING CONDITIONS OR BETTER.
5. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S CONSTRUCTION MANAGER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO USE ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. CONSTRUCTION MANAGER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
6. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

AS-BUILT NOTES:

1. IF APPLICABLE, AS–BUILT PLANS SHALL BE DELIVERED TO THE BUILDING DEPARTMENT PRIOR TO A CERTIFICATION OF OCCUPANCY BEING ISSUES.
2. AS–BUILTS MUST MEET THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, SUCH AS BUT NOT LIMITED TO STATE, LOCAL AND UTILITY PROVIDERS.
3. THE ENGINEER OF RECORD AND/OR SURVEYOR ARE TO BE CONTACT TO 7 DAYS IN ADVANCE OF AS–BUILT FIELD SURVEY REQUIREMENT FOR EACH CRITICAL ITEM.

EXISTING LEGEND:

- RIGHT–OF–WAY SIDELINE
- PROPERTY LINE
- ABUTTING LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF WETLANDS
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- 2-23 EXISTING TAX MAP AND LOT NUMBER
- EXISTING BUILDING
- EXISTING TREE LINE
- EXISTING GRANITE BOUND FOUND
- EXISTING DRILL HOLE FOUND/SET
- EXISTING CATCH BASIN SQUARE
- EXISTING BENCHMARK SET
- EXISTING BOULDERS
- EXISTING DRAINAGE EASEMENT

PROPOSED LEGEND:

- TREELINE
- 225 10' CONTOUR
- 224 2' CONTOUR
- BUILDING
- ASPHALT SURFACE

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FLAWLESS FLOORS
GENERAL NOTES & LEGEND
FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE
SCALE: NONE

SP-1
SHEET

FILE: 00159I07B.dwg
PROJECT 00159.07
SHEET NO. 2 OF 13

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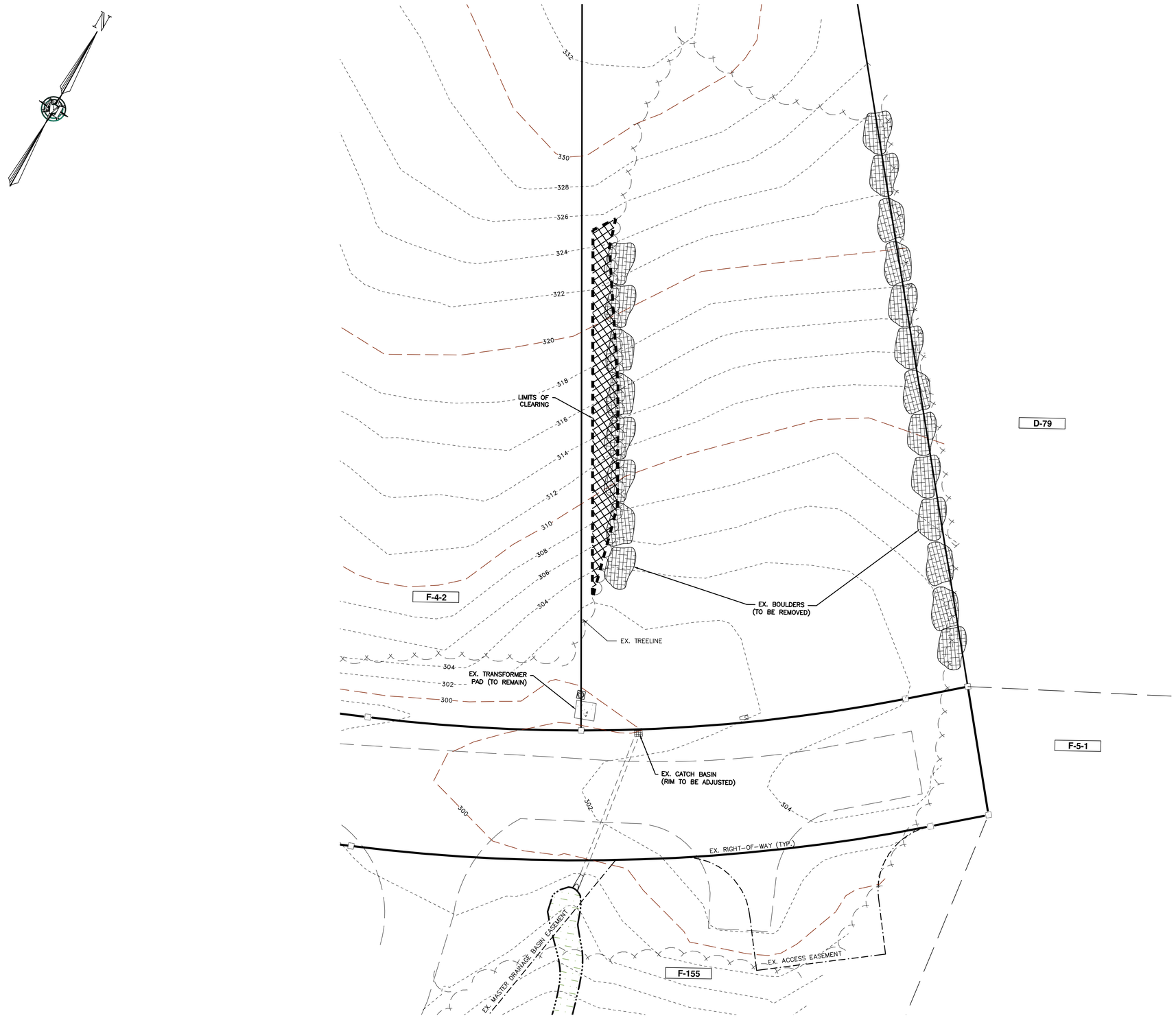

DEMOLITION NOTES:

1. EROSION CONTROL TO BE INSTALLED PRIOR TO GROUND DISTURBANCE. SEE EROSION CONTROL PLAN, SHEET D-1.
2. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING DEMOLITION.
3. DEBRIS CONTAINERS ARE REQUIRED ONSITE.
4. CONTRACTOR SHALL BE BECOME THE OWNER OF AND DISPOSE OF ALL MATERIALS, DEBRIS, AND ITEMS IN ACCORDANCE WITH APPLICABLE LAW(S).

LEGEND:

LIMITS OF CLEARING

DISTURBANCE AREA

PROJECT VERTICAL DATUM

ASSUMED

GRAPHIC SCALE

20 10 0 20 40 60

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FLAWLESS FLOORS

DEMOLITION PLAN

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
8 POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 20'

SP-1

SHEET

FILE: 00159I07B.dwg

PROJECT 00159.07

SHEET NO. 4 OF 13

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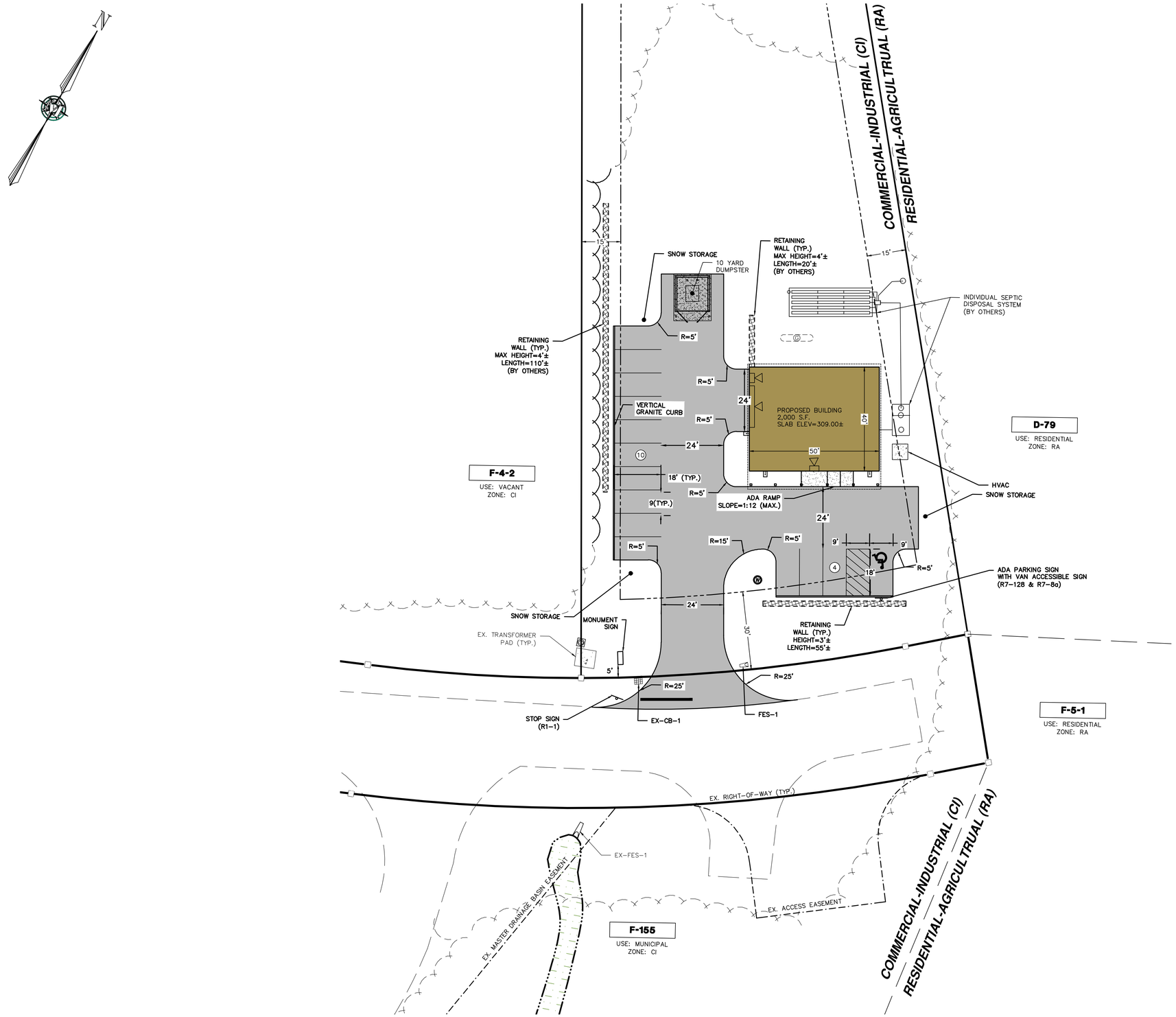

SITE DEVELOPMENT REGULATIONS

	REQUIRED	PROVIDED
MIN. LOT SIZE	40,000 SF	49,815 SF
MIN. FRONTAGE	150 FT	150 FT
FRONT BUILDING SETBACK	30'	68'
REAR BUILDING SETBACK	15'	318.8'
SIDE BUILDING SETBACK	15'	17.2'
WETLAND BUFFER	50' SEPTIC	N/A
MAX BUILDING HEIGHT	35'	28'
MAX. SITE COVERAGE	75%	23.2%
FRONT PARKING SETBACK	30'	SEE NOTE 2

NOTES
1. SITE DEVELOPMENT REGULATIONS IN ACCORDANCE WITH TOWN OF BROOKLINE ZONING ORDINANCE – COMMERCIAL/INDUSTRIAL DISTRICT.
2. WAIVER REQUESTED FROM THE TOWN OF BROOKLINE SITE PLAN REGULATIONS SECTION 4.6.03.b WHERE PARKING MAY NOT BE LOCATED IN THE FRONT SETBACK AS WELL AS BETWEEN THE PRINCIPAL STRUCTURE AND A PUBLIC STREET.

PARKING SUMMARY

DESCRIPTION	RATIO	REQUIRED	PROVIDED
WAREHOUSING	7 EMPLOYEES @ 1 SPACE PER EMPLOYEE	7	7
	5 TRUCKS @ 1 SPACE PER UNGARAGED VEHICLE	5	5
OFFICE/SHOWROOM	500SF @1 SPACE PER 400 SF	1.25	2
SUBTOTAL		13.25	14

NOTES
1. PARKING CALCULATION PER APPENDIX A: PARKING REQUIREMENTS TABLE OF THE TOWN OF BROOKLINE SITE PLAN REGULATIONS.

LAND USE SUMMARY

DESCRIPTION		PROPERTY AREA AREA (SF)	TOTAL PROJECT AREA (%)
EXISTING	BUILDING	0	0.00%
	IMPERVIOUS	37	0.001%
	GRAVEL	0	0.00%
	PERVIOUS	49,778	99.999%
	TOTAL	49,815	100%
PROPOSED	BUILDING	2,300	4.62%
	IMPERVIOUS	7,061	15.39%
	GRAVEL	0	0.00%
	PERVIOUS	39,850	79.99%
	TOTAL	49,815	100%

NOTES
1. EXISTING LAND USE SUMMARY BASED UPON SURVEY DATA THAT WAS COLLECT BY THIS OFFICE.

SIGNAGE NOTES:

1. PROPOSED SIGNAGE TO BE IN COMPLIANCE WITH SECTION 1600.00 SIGN ORDINANCE. SIGN PERMIT REQUIRED
2. SIGN PERMIT REQUIRED FOR MONUMENT SIGN
   MAX. ALLOWABLE SIGN AREA = 75 S.F.
   MAX. ALLOWABLE HEIGHT = 15FT

FIRE PROTECTION NOTES:

1. THE SITES FIRE PROTECTION DRAFTING AREA LIES OFF OF ROCK RAMOND ROAD VIA A DRY HYDRANT WITHIN 2,500FT OF THE SITE.
2. KNOX BOX REQUIRED.

PARKING NOTES:

1. VEHICLE STORAGE IS PROHIBITED IN THE FRONT 4 SPACES LOCATED BETWEEN THE BUILDING AND THE RIGHT-OF-WAY.

LEGEND:

- BUILDING SETBACK
- VERTICAL GRANITE CURB
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- RETAINING WALL

GRAPHIC SCALE
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FLAWLESS FLOORING
SIGNAGE AND MARKING PLAN

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 20'

SP-2
SHEET

FILE: 00159107B.dwg
PROJECT 00159.07
SHEET NO. 5 OF 13

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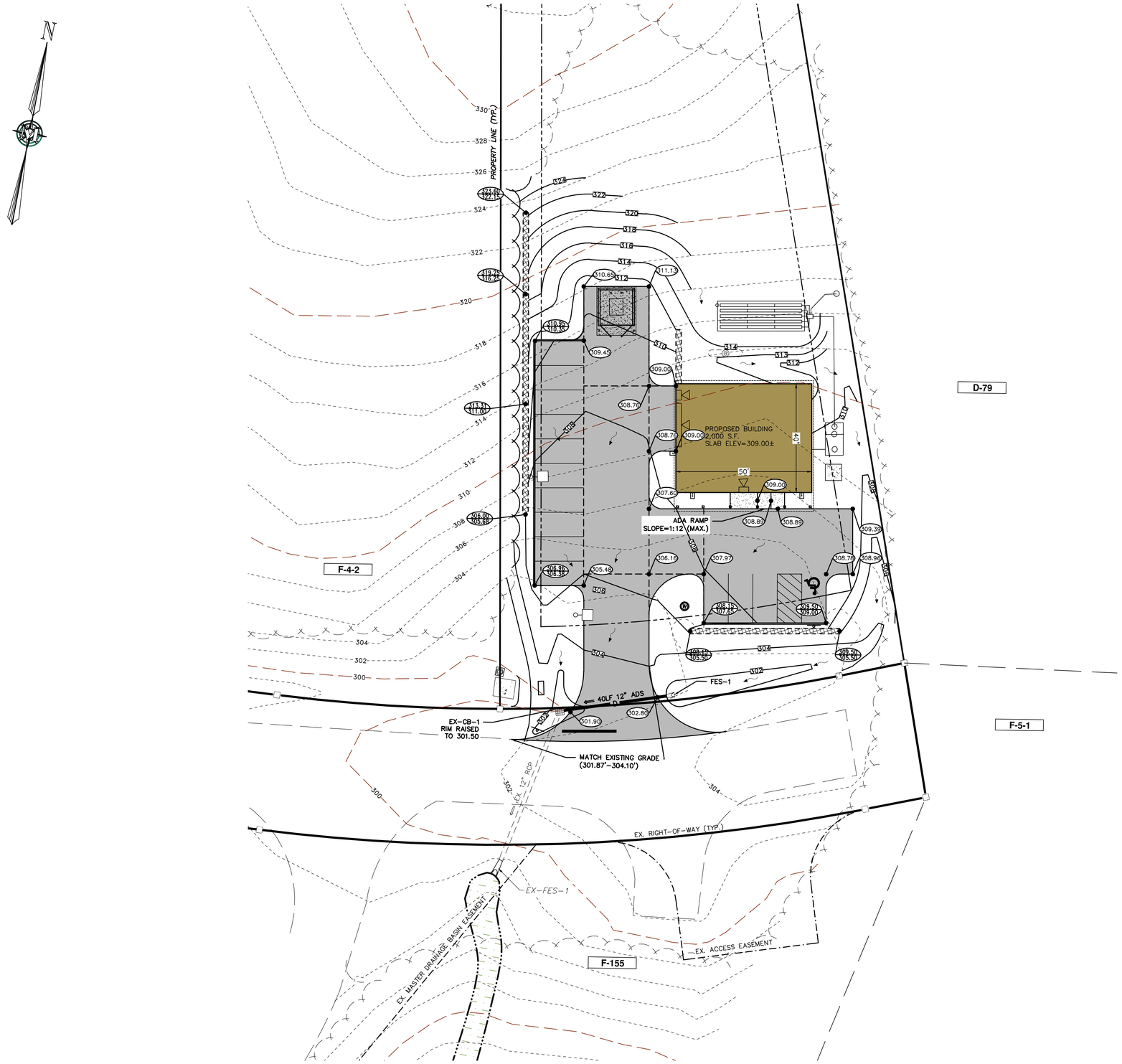

DRAINAGE NOTES:

1. THE PROPOSED SITE HAS AN IMPERIOUS COVERAGE OF 23.2% AND IS BELOW THE ALLOWED 35% IMPERVIOUS COVERAGE PREVIOUSLY APPROVED DRAINAGE CALCULATIONS FOR THE MASTER DRAINAGE SYSTEM ON LOT F-155.
2. THE LENGTH OF ALL STORM DRAIN PIPES SHOWN ARE APPROXIMATE AND ARE MEASURED FROM THE INSIDE FACE OF STRUCTURE TO THE INSIDE FACE OF THE NEXT STRUCTURE.
3. EXISTING OFF-SITE DRAINAGE PATTERNS SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
4. THE LOCATION OF THE DRAINAGE STRUCTURES SHOWN ON THE PLANS MAY BE FIELD ADJUSTED TO PRESERVE ANY EXISTING VEGETATION, AS APPROVED BY THE ENGINEER.
5. DURING CONSTRUCTION, ALL INLET OPENINGS SHALL BE COVERED WITH FILTER FABRIC TO PREVENT DEBRIS FROM FALLING INTO THE INLET.
6. ALL STORM DRAINAGE PIPE SHALL BE ADS PIPE UNLESS OTHERWISE NOTED.
7. HDPE PIPE JOINTS SHALL BE WRAPPED IN MIRAFI FABRIC UPON INSTALLATION.
8. THERE ARE NO KNOWN IMPACTS TO SURFACE GROUND WATER RESULTING FROM THE PROJECT.
9. OPERATION AND OWNERSHIP OF THE ONSITE SURFACE WATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. OPERATION AND OWNERSHIP OF THE OFFSITE MASTER SURFACE WATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER PER MAINTENANCE AGREEMENT OUTLINED IN BOOK AND PAGE.

GRADING NOTES:

1. THE CONTRACTOR SHALL ADJUST ALL PROPOSED ELEVATIONS TO MEET THE EXISTING GRADES AS NEEDED.
2. PROPOSED GRADES IN OPEN SPACE AREAS ARE TOP OF SOD.
3. ALL ELEVATIONS PROVIDED ARE BASED IN NAVD DATUM.
4. THE CONTRACTOR IS REQUIRED TO ADJUST ALL EXISTING AND PROPOSED VALVE BOXES, MANHOLE RIMS, GRATES, ETC. AS REQUIRED TO MATCH THE PROPOSED GRADES.

LEGEND:

XXX.XX	SPOT GRADE
TOP/BTM	TOP/BOTTOM SPOT GRADE
	FLOW ARROW

DRAINAGE STRUCTURE SCHEDULE

EX-CB-1
RIM=301.5
EX. 12" INVERT (OUT)(S)=297.37
12" INVERT (IN)(E)=299.00
SUMP= 294.50

EX-FES-1
EX. 12" RCP INV. OUT=296.69

FES-1
12" INVERT (IN)(E)=300.00

PROJECT VERTICAL DATUM

ASSUMED

GRAPHIC SCALE

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FLAWLESS FLOORING
GRADING & DRAINAGE PLAN

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 20'

SP-3
SHEET

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PROJECT	00159.07
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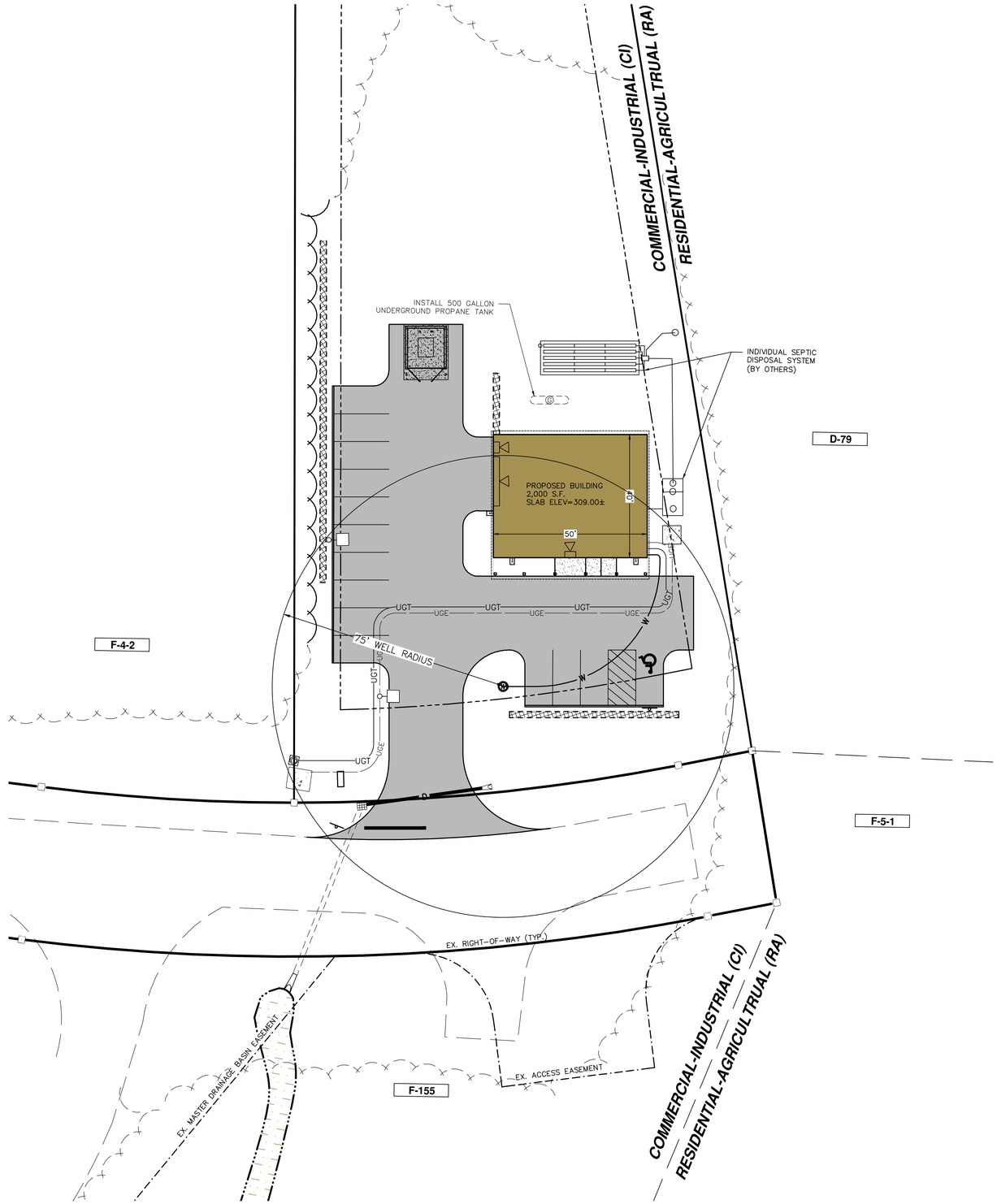

UTILITY NOTES:

1. LOCATIONS OF PROPOSED UTILITY LINES ARE SUBJECT TO MODIFICATIONS TO PRESERVE ANY EXISTING VEGETATION AS DETERMINED BY THE ENGINEER.
2. CONTRACTOR TO PROVIDE UTILITY RECORD DRAWINGS TO OWNER AND ENGINEER PRIOR TO FINAL PAYMENT REQUEST.
3. ALL UNDERGROUND UTILITIES LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE.
4. CASINGS AND/OR CONDUIT SHALL EXTEND FIVE (5) FEET BEYOND THE EDGE OF PAVEMENT, BACK OF CURB AND/OR SIDEWALK AT EACH END AND SHALL BE INCLUDED IN RECORD DRAWINGS TO THE ENGINEER.

GRAPHIC SCALE
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FLAWLESS FLOORING
UTILITY PLAN
FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE
SCALE: 1" = 20'

SP-4
SHEET

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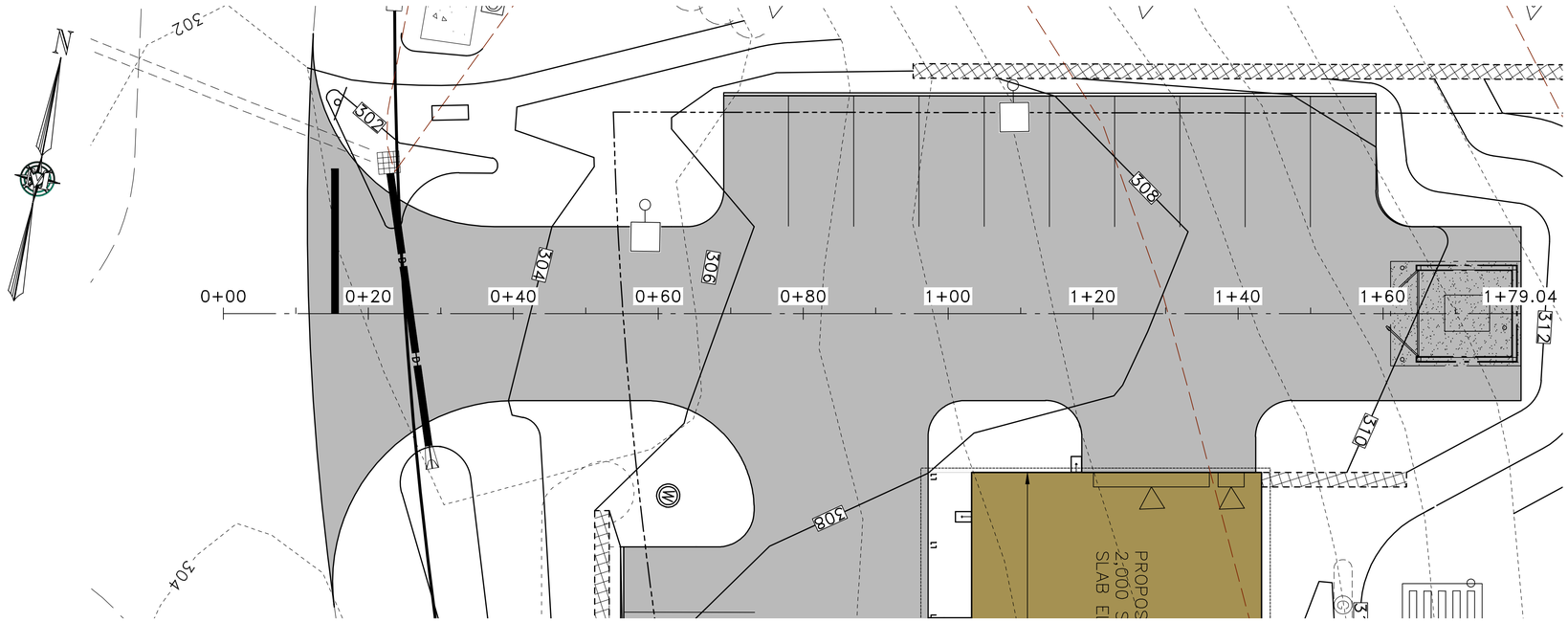

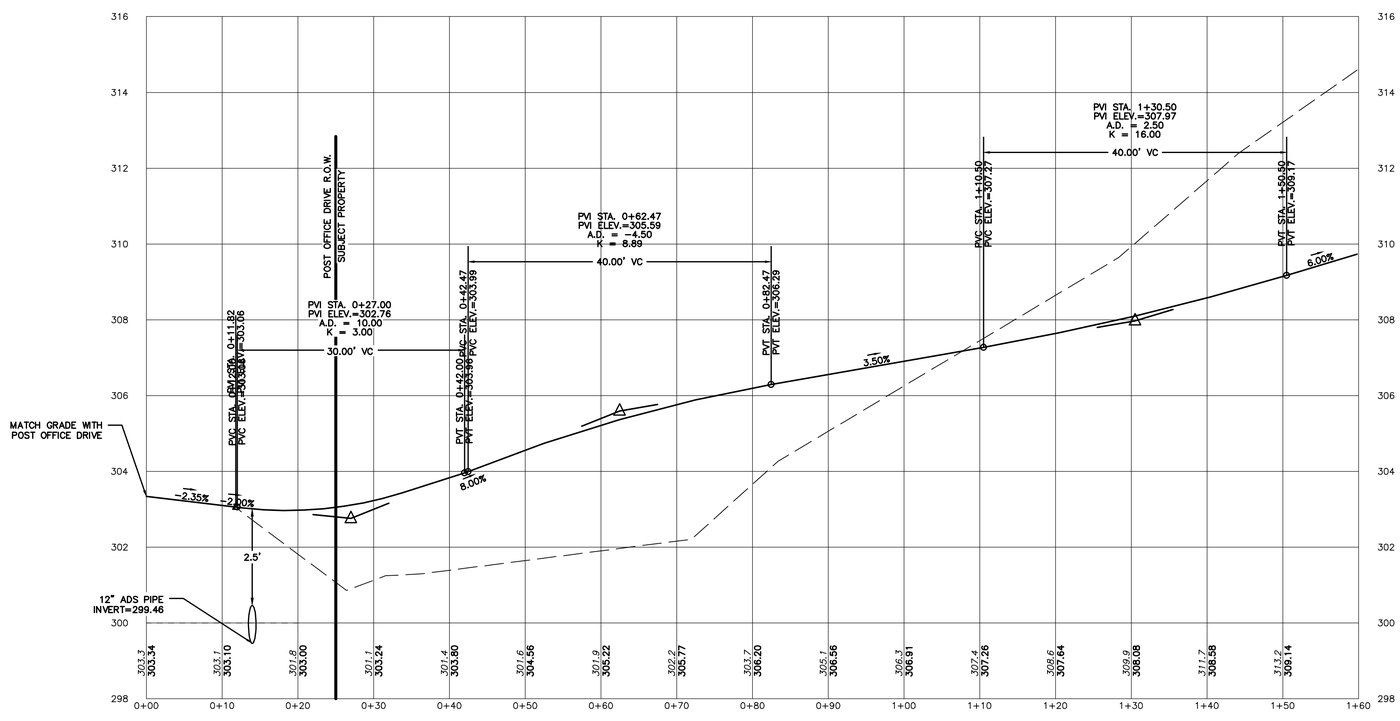

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FLAWLESS FLOORING

DRIVEWAY PROFILE

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 10'(H)/2'(V)

P-1
SHEET

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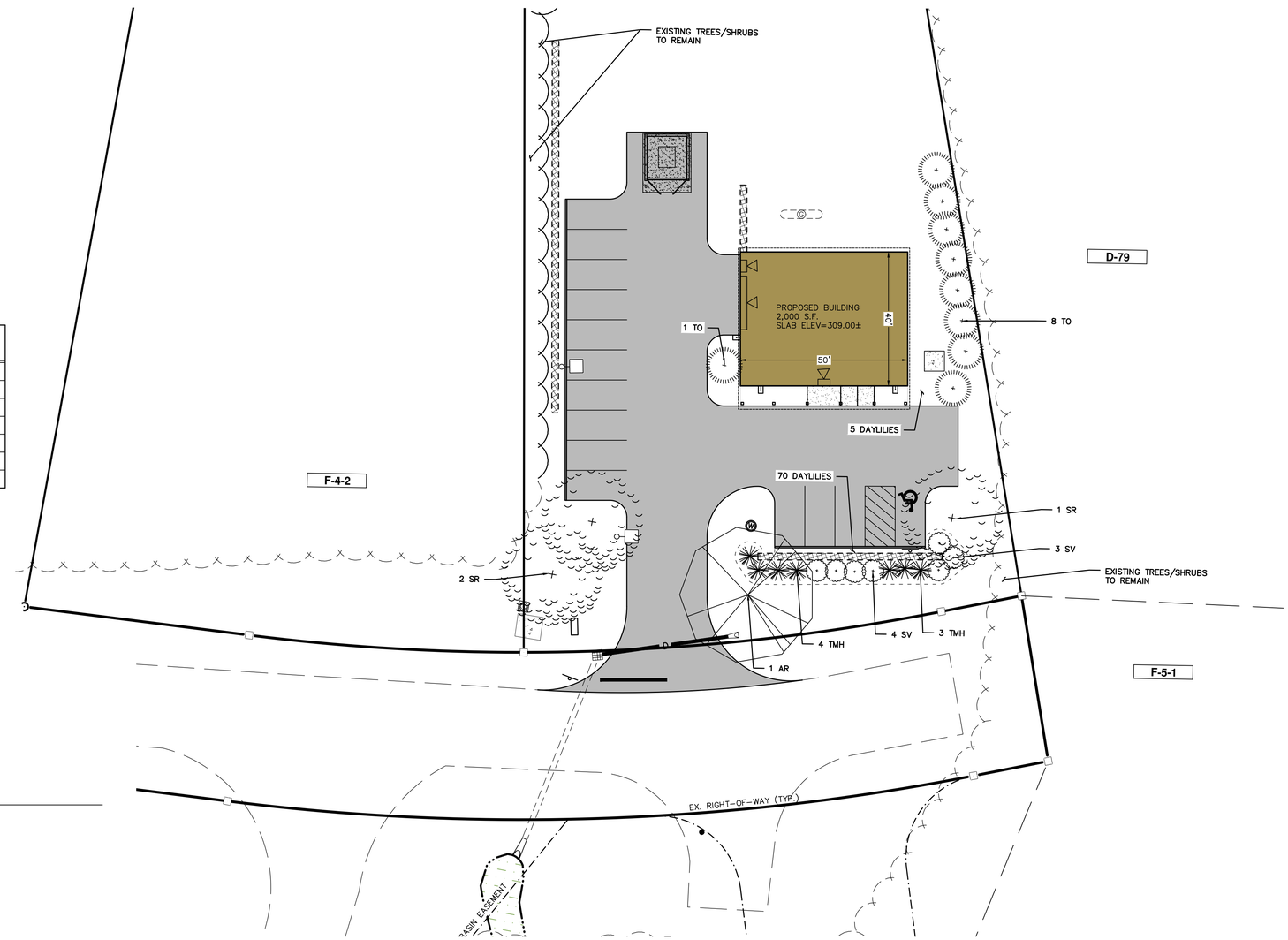
NOTES:

1. PLANTING SEASON: OUT OF SEASON PLANTING SHALL BE DONE ONLY WITH PRIOR APPROVAL OF THE ARCHITECT AND DOES NOT RELIEVE THE CONTRACTOR FROM HIS GUARANTEE. THE CONTRACTOR SHALL TAKE WHATEVER MAINTENANCE PROCEDURES THAT ARE NECESSARY, AT NO EXTRA COST TO COMPENSATE FOR OUT OF SEASON PLANTING.
2. DELIVER IN CLOSED TRUCKS: ALL PLANT MATERIALS IN LEAF SHALL BE COVERED WITH TARPS TO PREVENT DRYING OF THE LEAVES. ROOT BALLS MUST BE KEPT DAMP AT ALL TIMES, FROM TIME OF PURCHASE TO COMPLETED INSTALLATION.
3. PLANT PITS SHALL BE THREE ROOT BALL DIAMETERS IN WIDTH, AND NO DEEPER THAN THE PLANT BALL.
4. REMOVE SOIL FROM THE TOP OF THE ROOT BALL DOWN TO THE TRUNK FLARE BY LOOSENING THE BURLAP. DIG PLANT PIT SUCH THAT THE ROOT FLARE IS ONE (1") TO TWO (2") INCHES ABOVE FINISHED GRADE.
5. FILL HOLE WITH WATER IF POOR DRAINAGE IS SUSPECTED. IF TREE PIT DOES NOT DRAIN WITHIN 24 HOURS AN ALTERNATE PLANT LOCATION SHALL BE SELECTED.
6. SET PLANT IN HOLE, CUT AWAY ALL VISIBLE ROPE AND BURLAP. SEE DETAILS FOR WIRE BASKET REMOVAL.
7. BACKFILL HOLE WITH 1/3 LOAM, 1/3 PEAT MOSS, AND 1/3 COMPOSTED COW MANURE. WHEN BACKFILLING IS HALF COMPLETE, FILL PIT WITH WATER AND ALLOW TO DRAIN TO REMOVE AIR POCKETS. COMPLETE BACKFILLING, LEAVING ROOT FLARE EXPOSED.
8. WATER-HOLDING SAUCER SHALL BE BUILT UP AROUND THE PLANT PIT. FLOOD WITH WATER FOR FIVE (5) MINUTES IMMEDIATELY AFTER PLANTING.
9. WATER PLANTS ONCE A DAY FOR THE FIRST WEEK AND ONCE A WEEK FOR THE FIRST PLANTING WATER AT A RATE OF FIVE (5) GALLONS PER SHRUB AND TEN (10) GALLONS FOR TREE.
10. MULCH AREAS AROUND PROPOSED TREES AND SHRUBS. ALL PLANT BEDS SHALL BE TREATED WITH THREE (3") INCHES OF SHREDDED BARK MULCH. CUT NEAT BED EDGE AND FULLY REMOVE ALL GRASS AND WEEDS PRIOR TO MULCH APPLICATION. DO NOT MULCH AGAINST TRUNKS AND STEMS OF PLANT MATERIALS.
11. GUARANTEE ALL PLANTS FOR ONE (1) FULL YEAR FROM DATE OF STORE GRAND OPENING. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL PLANT MATERIALS IN A HEALTHY CONDITION THROUGH THE GUARANTEE PERIOD.
12. ALL PLANTING BEDS ARE INTERIOR LANDSCAPED ISLANDS SHALL HAVE A MINIMUM OF 12" LOAM BEDDING. ALL OTHER AREAS SHALL HAVE A MINIMUM OF 6" LOAM BEDDING.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
AR	1	ACER RUBRUM	OCTOBER GLORY RED MAPLE	3" CAL
SR	3	SYRINGA RETICULATA	JAPANESE TREE LILAC	2" CAL
TO	9	THUJA OCCIDENTALIS	DARK AMERICAN ARBORIVATAE	6'
RPJ	1	RHODODENDRON PJM	PJM RHODODENDRON	3'
SV	6	SYRINGA VULGARIS	COMMON LILAC	3'
TMH	7	TAXUS MEDIA HICKSII	HICKS YEW	3-4'
	75	HEMEROCALLIES	DAYLILIES	FLATS



PLANT LEGEND:

EVERGREEN/CONIFER TREE
EVERGREEN SCREEN TREE
EVERGREEN SHRUB
FLOWERING SHRUB
SMALL FLOWERING SHRUB
MULCH AREA
SHADE/DECIDUOUS TREE
SHADE/DECIDUOUS TREE
FLOWERING TREE

EDGE OF LANDSCAPE BED
EX. TREELINE
PROPOSED TREELINE

GRAPHIC SCALE
20 10 0 20 40 60
IMPERIAL: 1:20 (IN:FT)

ARAGO LAND CONSULTANTS, LLC
5 Pan American Road, Suite 1, Amherst, NH 03031 (603) 882-5279

ISSUED FOR STATE AND/OR MUNICIPAL REVIEW ONLY

REV.	DATE	DESCRIPTION	DR	CK
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D	--	--	--	--
C	--	--	--	--
B	4/4/2023	STAFF & PB COMMENTS	BLR	SRF
A	3/3/2023	TOWN REVIEW COMMENTS	--	--

FLAWLESS FLOORS
LANDSCAPING PLAN

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 20'

LS-1
SHEET

FILE: 00159l07B.dwg
PROJECT 00159.07
SHEET NO. 9 OF 13

Plotted: 4/4/2023 1:07 PM By: BLR
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McGraw-Edison

GLEON Galleon

Area / Site Luminaire

Product Features

Product Certifications

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 9

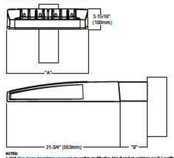
Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

Connected Systems

- WaveLinx
- Enlighted

Dimensional Details



Number of Light Squares	"A" Width	"B" Standard Arm Length¹	"B" Extended Arm Length¹	"B" Quick Mount Arm Length	"B" Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	15-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	15-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	–
9-10	33-3/4"	7"	16"	–	–

NOTES:
For arm selection requirements and additional Section, see Mounting Details section.

NOTES:
1. IDA (https://www.darksky.org/groups/) to confirm qualification. Not all product variations are DLC qualified.
2. DLC v4 Rated for 5000K CCT and warmer only.

COOPER Lighting Solutions

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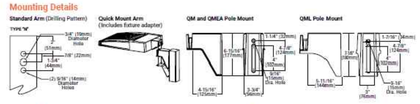
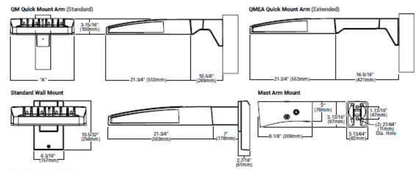
November 28, 2022 3:04 PM

McGraw-Edison — GLEON Galleon

Mounting Details

Standard Arm (Drilling Pattern)





Arm Mounting Requirements

Number of Light Squares	Standard Arm @ 90° Apart	Standard Arm @ 120° Apart	Quick Mount Arm @ 90° Apart	Quick Mount Arm @ 120° Apart
1	Standard	Standard	QM Extended	Quick Mount
2	Standard	Standard	QM Extended	Quick Mount
3	Standard	Standard	QM Extended	Quick Mount
4	Standard	Standard	QM Extended	Quick Mount
5	Extended	Standard	QM Extended	Quick Mount
6	Extended	Standard	QM Extended	Quick Mount
7	Extended	Extended	–	Quick Mount
8	Extended	Extended	–	Quick Mount
9	Extended	Extended	–	–
10	Extended	Extended	–	–

NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.
3 Shown with 4 square configurations.

Fixture Weights and EPAs

Number of Light Squares	Weight with Standard and Extended Arm (lbs.)	EPA with Standard and Extended Arm (Sq. Ft.)	Weight with QM Arm (lbs.)	EPA with QM Arm (Sq. Ft.)	Weight with QML (lbs.)	EPA with QML (Sq. Ft.)	Weight with QMEA (lbs.)	EPA with QMEA (Sq. Ft.)
1-4	33	0.96	35	1.11	–	–	38	1.11
5-6	44	1.00	46	1.11	–	–	49	1.11
7-8	54	1.07	56	1.11	58	1.11	–	–
9-10	63	1.12	–	–	67	1.11	–	–

COOPER Lighting Solutions

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November 28, 2022 3:04 PM

F-4-2

McGraw-Edison

GWC Galleon Wall

Wall Mount Luminaire

Product Features

Product Certifications

Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 6

Quick Facts

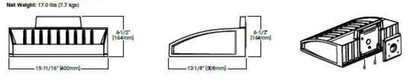
- Choice of thirteen high-efficiency, patented AccuLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Connected Systems

- WaveLinx
- Enlighted

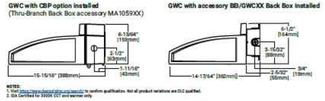
Dimensional Details

Net Weight: 17.0 lbs (7.7 kgs)



GWC with CBP option installed (Thru-Branch Back Box accessory MA1059XX)

GWC with accessory BB/GWCXX Back Box installed



NOTES:
1. IDA (https://www.darksky.org/groups/) to confirm qualification. Not all product variations are DLC qualified.
2. DLC v4 Rated for 5000K CCT and warmer only.

COOPER Lighting Solutions

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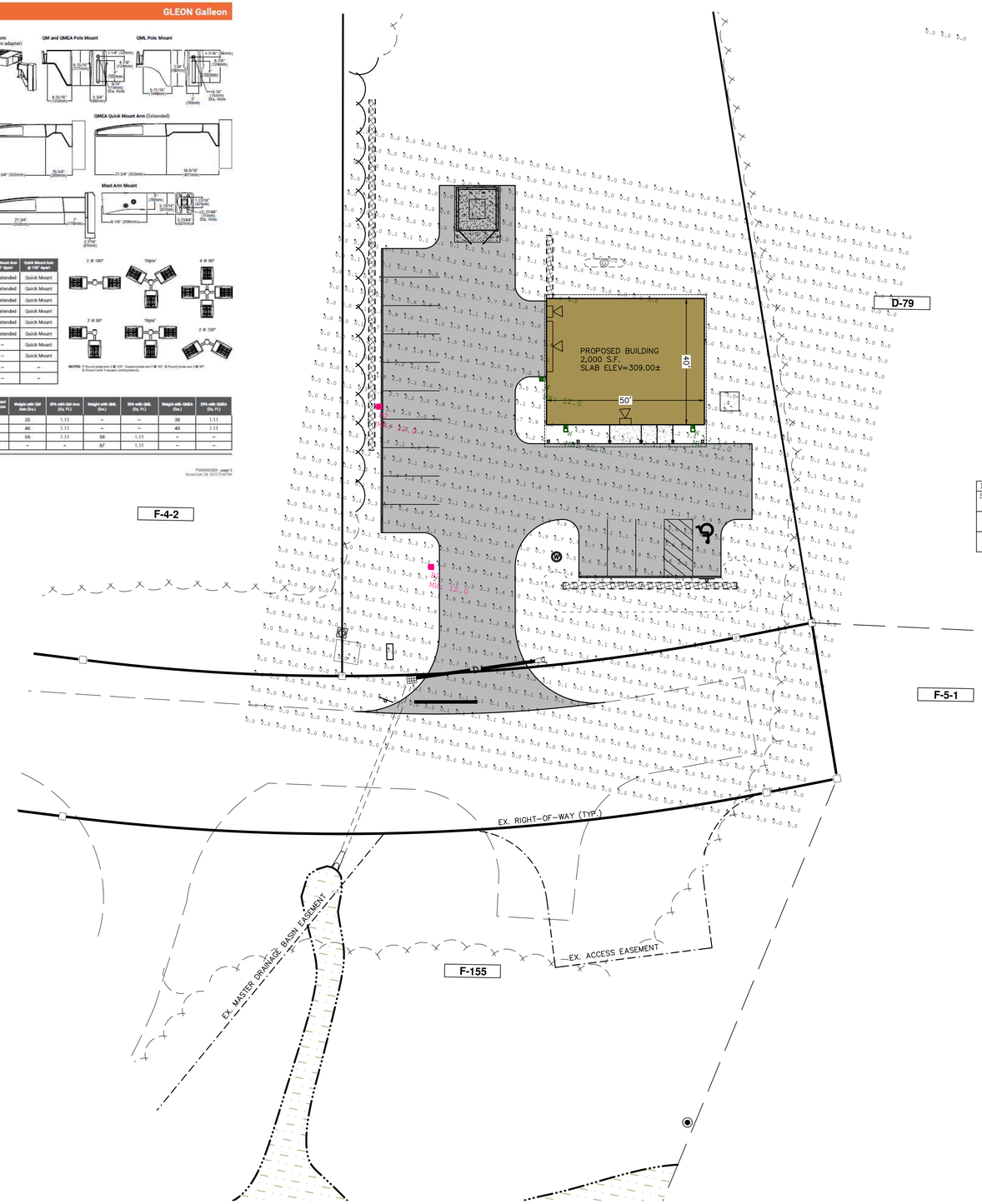
December 9, 2022 8:43 PM



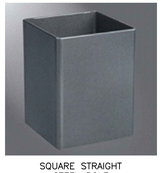
NOTES:

1. THE PURPOSE THE LIGHTING AND THE EMITTED FOOTCANDLES FOR THE PROPOSED SITE EXPANSION.
2. PHOTOMETRIC PLAN PROVIDED BY MICHAEL O'BRIEN OF CHARRON, INC/REFLEX LIGHTING.
3. THREE (3) WALL LIGHTS ARE PROPOSED, THE REMAINDER OF THE LIGHTING IS POLE MOUNTED.

Luminaire Schedule

Symbol	Qty	Label	Description	Tag
	3	W	COOPER: GWC-SA1A-740-U-T4FT-COLORXX	Mounted at 12'
	2	P2	COOPER: GLEON-SA1A-740-U-T4W-COLORXX-HSS	MOUNTED AT 12' WITH HOUSE SIDE SHIELD

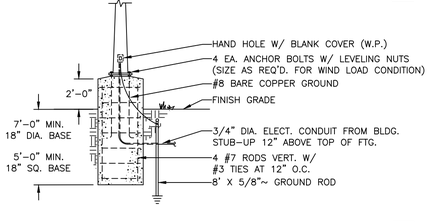
ILLUMINANCE (FOOT-CANDLE) (FRONT PARKING LOT)	
AVERAGE	1.77
MAXIMUM	4.30
MINIMUM	0.30
AVERAGE/MINIMUM RATIO	5.90
MAXIMUM/MINIMUM RATIO	14.33



SQUARE STRAIGHT STEEL POLE

SITE LIGHTING (1 / LT-1)

SCALE: NONE



SITE LIGHTING - POLE BASE (2 / LT-1)

SCALE: NONE

GRAPHIC SCALE

20 10 0 20 40 60

IMPERIAL: 1:20 (IN:FT)

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SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL: 603-673-1441
MERIDIANLSI@MERIDIANLSI.COM | FAX: 603-673-1534

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B	4/4/2023	STAFF & PB COMMENTS		
C				
D				
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F				
G				
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I				

FLAWLESS FLOORS

LIGHTING PLAN

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
8 POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 20'

LT-1
SHEET

FILE: 00159I07B.dwg
PROJECT 00159.07
SHEET NO. 10 OF 13

Plotted: 4/4/2023 1:07 PM By: BLR
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EROSION CONTROL NOTES:

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

1. INSTALLATION OF SILT SOCKS AND SILTATION FENCE WHERE INDICATED SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA.
2. SILT SOCKS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL DISTURBED AREAS HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5" OR GREATER RAINFALL.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
4. PER THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. THE TOTAL AREA OF ACTIVE DISTURBANCE, INCLUDING LOT DISTURBANCES, SHALL NOT EXCEED 5 ACRES.
5. THE DURATION OF TIME THAT AN AREA IS DISTURBED SHALL BE MINIMIZED. ALL NON–ACTIVE DISTURBED AREAS (ie: CLEARED FOR CONSTRUCTION BUT NOT PRESENTLY UNDERGOING CONSTRUCTION) SHALL BE STABILIZED WITHIN 28 DAYS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
6. ALL DITCHES, SWALES AND DETENTION BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND SHALL BE STABILIZED PRIOR TO DIRECTING STORM WATER FLOW TO THEM.
7. AN AREA MAY BE CONSIDERED STABILIZED WHEN ONE OF THE FOLLOWING HAS OCCURRED:

A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON–EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

8. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

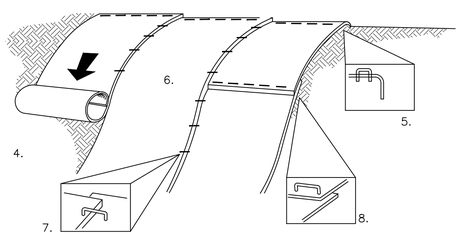
   THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED		SLOPE SEED	
CREEPING RED FESCUE	0.87 LBS.	CREEPING RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSIKE CLOVER	0.18 LBS.
		BIRDSFOOT TREFOIL	0.18 LBS.

9. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N–P205–K2O) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).

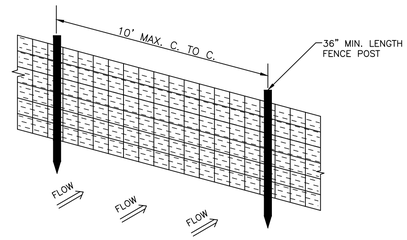
   FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.

10. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
11. THE SITE CONTRACTOR SHALL MAINTAIN A VIGOROUS DUST CONTROL PROGRAM THROUGHOUT THE CONSTRUCTION PROCESS. EXPOSED EARTH SHALL BE KEPT MOIST OR MULCHED AT ALL TIMES TO PREVENT DUST FORMATION. SPECIAL ATTENTION SHALL BE PAID TO HIGH TRAFFIC AREAS.

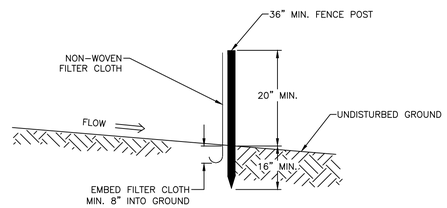


1. FABRIC SHALL BE A STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL.
2. **THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.**
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP–SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"–5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
8. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
9. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.
10. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

SLOPE STABILIZATION TURF REINFORCEMENT MAT — 1 / D-1
SCALE: NONE



PERSPECTIVE VIEW



SECTION

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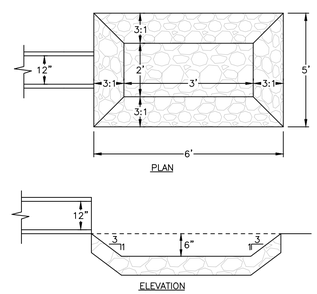

PLAN

ELEVATION

OUTLET PROTECTION - RIPRAP SCOUR HOLE — 3 / D-1
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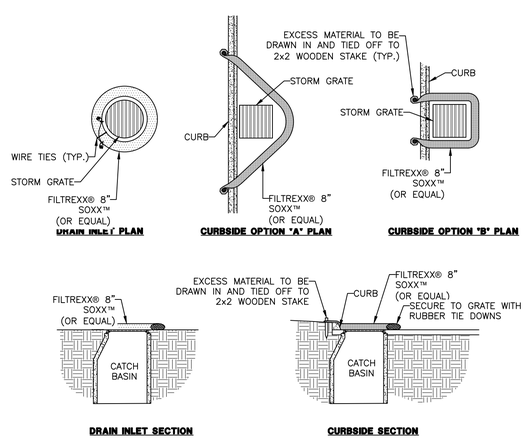

DRAIN INLET PLAN — CURBSIDE OPTION "A" PLAN — CURBSIDE OPTION "B" PLAN

DRAIN INLET SECTION — CURBSIDE SECTION

INLET PROTECTION (BY FILTREXX® OR EQUAL) — 4 / D-1
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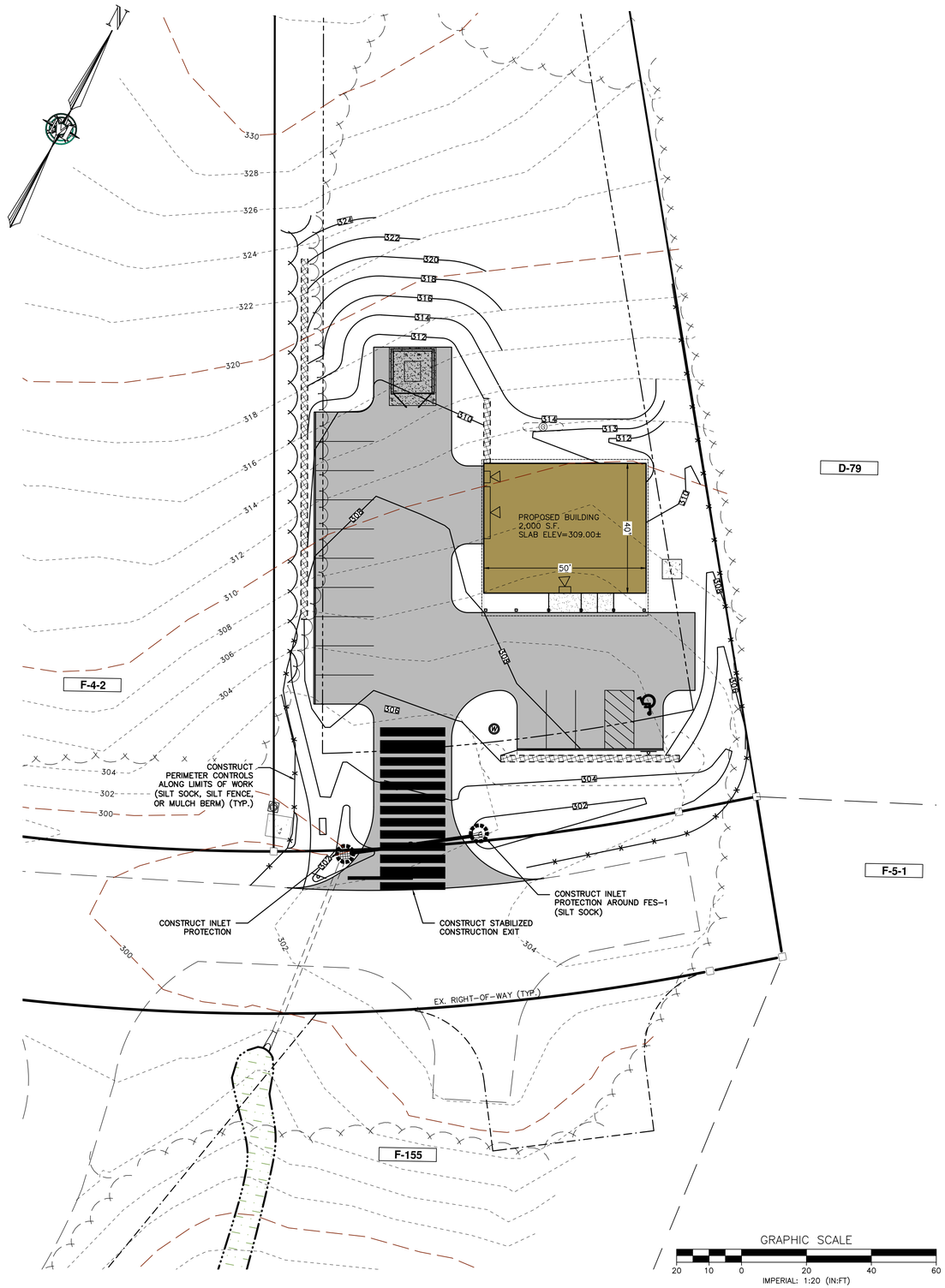

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REV.	DATE	DESCRIPTION	BLR	SRF
A	3/3/2023	TOWN REVIEW COMMENTS	DR	CK
B	4/4/2023	STAFF & PB COMMENTS		
C	--/--/--	---		
D	--/--/--	---		
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G	--/--/--	---		
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I	--/--/--	---		

FLAWLESS FLOORS
EROSION & SEDIMENTATION CONTROL PLAN
FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE
SCALE: 1" = 20'

D-1
SHEET

FILE: 00159I07B.dwg
PROJECT 00159.07
SHEET NO. 11 OF 13

Plotted: 4/4/2023 1:07 PM By: BLR
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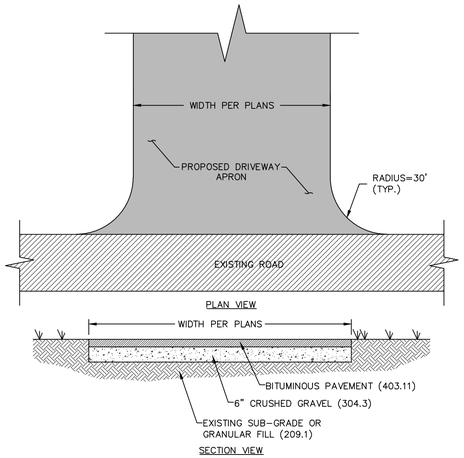
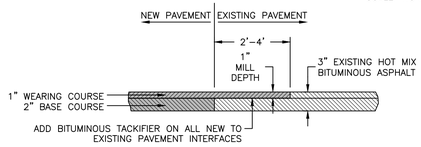


PAVED DRIVEWAY APRON

(NHDOT ITEM NO.)

DEC. 14, 2021
SCALE: NONE

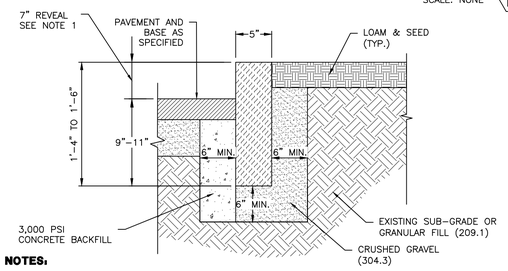
1 / D-2



NEW TO EXISTING PAVEMENT MILLING INTERFACE

SCALE: NONE

2 / D-2



NOTES:

1. CURB REVEAL SHALL BE AS FOLLOWS:
   A. FULL REVEAL: 7"-9"
   B. AT DRIVEWAYS: 2"
   C. AT ACCESSIBLE CURB RAMPS: 0"
2. LENGTH OF STRAIGHT CURB STONES SHALL BE AS FOLLOWS:
   A. MINIMUM LENGTH: 3'
   B. MAXIMUM LENGTH: 10'
   C. LENGTH OF STONES ON CURVES: SEE CHART
3. ADJOINING STONES SHALL HAVE THE SAME OF APPROXIMATELY THE SAME LENGTH.

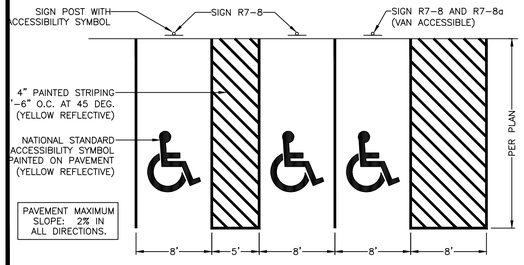
MAX. LENGTH OF STRAIGHT CURB STONES LAID ON CURVES	
RADIUS (FT)	MAXIMUM LENGTH (FT)
<21'	USE CURVED CURB
21'	3'
22' – 28'	4'
29' – 35'	5'
36' – 42'	6'
43' – 49'	7'
50' – 56'	8'
57' – 60'	9'
>60'	10'

VERTICAL GRANITE CURB (NHDOT)

(NHDOT ITEM NO.)

DEC 14, 2021
SCALE: NONE

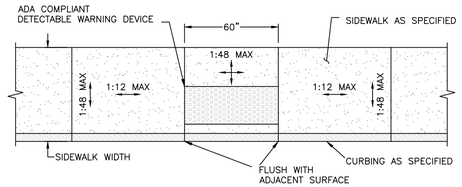
3 / D-2



HANDICAP PARKING - STANDARD

DEC. 14, 2021
SCALE: NONE

4 / D-2



NOTES:

1. DETECTABLE WARNINGS SHALL BE PROVIDED WHEREVER A CURB RAMP CROSSES A VEHICULAR WAY.
2. DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
3. DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES – EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
4. DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

HANDICAP SIDEWALK RAMPS WITH DETECTABLE WARNINGS

APRIL 8, 2011
SCALE: NONE

5 / D-2

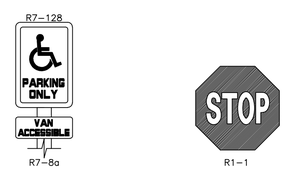
STOP BAR NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH NHDOT BUREAU OF TRAFFIC STANDARDS AND THE CURRENT EDITION OF THE MUTCD.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.
3. WIDTH OF LINES SHALL VARY NO MORE THAN 0.25" FROM THAT SPECIFIED.
4. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF THE LINE SPECIFIED. OVERSPRAY SHALL BE KEPT AT AN ABSOLUTE MINIMUM.

STOP BAR

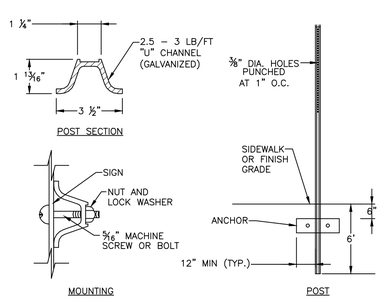
SCALE: NONE

6 / D-2



GENERAL NOTES:

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.



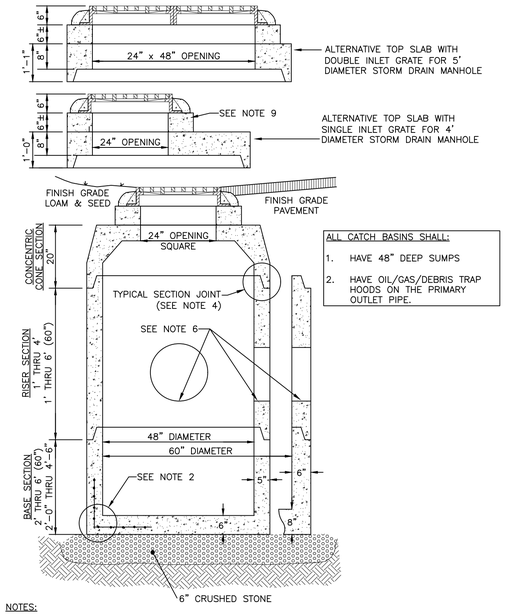
NOTES:

1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
2. MOUNT BOTTOM OF SIGN AT 84" ABOVE FINISHED GRADE.

TRAFFIC SIGNS

SCALE: NONE

7 / D-2



ALL CATCH BASINS SHALL:

1. HAVE 48" DEEP SUMPS
2. HAVE OIL/GAS/DEBRIS TRAP HOODS ON THE PRIMARY OUTLET PIPE.

NOTES:

1. STORM DRAIN MANHOLE SHALL BE SUPPLIED BY CONCRETE SYSTEMS, INC., HUDSON, NH OR EQUAL.
2. REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ.IN./LINEAR FT. AND 0.12 SQ.IN. (BOTH WAYS) BASE BOTTOM.
3. CONCRETE COMPRESSIVE STRENGTH – 4000 PSI MINIMUM.
4. TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. SS-S-210A.
5. MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
6. ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
7. ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING.
8. INLET FRAME AND GRATE AND FRAME IS TO BE NEENAH MODEL R-3405 FOR SINGLE GRATE AND MODEL R-3405-A FOR A DOUBLE GRATE STRUCTURE, OR EQUAL.
9. INLET FRAME IS TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT. SEALED IN PLACE WITH NON SHRINK GROUT.
10. STORM DRAIN MANHOLE IS TO BE SET ON 6" OF 3/4" STONE BEDDING.
11. THE 48" DIAMETER STORM DRAIN MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS. THE 60" DIAMETER STORM DRAIN SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS.
12. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
13. ALL CATCH BASINS SHALL:
    13.1. HAVE 48" SUMPS
    13.2. HAVE OIL/GAS/DEBRIS TRAP HOODS ON THE PRIMARY OUTLET PIPE

STORMSEWER CATCH BASIN (CB)

SCALE: NONE

8 / D-2

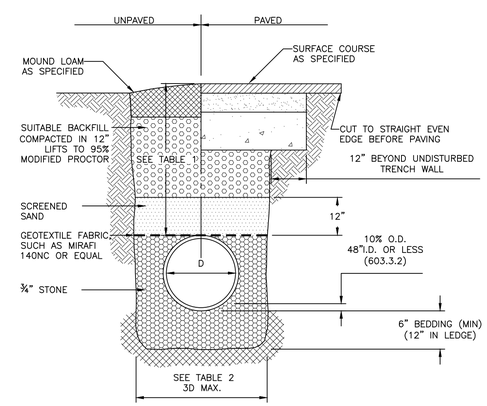


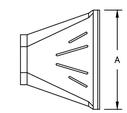
TABLE 1		
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	3 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

TABLE 2 (206.4.1.2)	
INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

TYPICAL DRAINAGE PIPE TRENCH

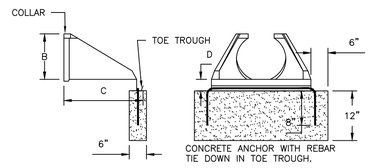
SCALE: NONE

9 / D-2



THE INVERT OF THE PIPE AND THE END SECTION SHALL BE AT THE SAME ELEVATION.

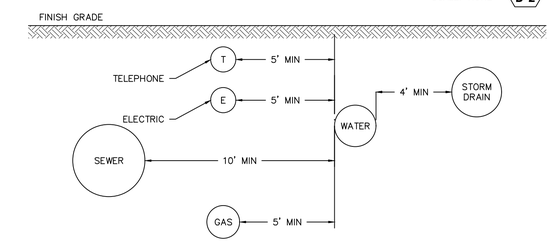
PIPE DIAMETER (INCHES)						
DIMENSION	10–12	15	18	24	30	36
A	42	41	49	59.50	88	88
B	14.50	19	22	28	36	43
C	33	34	43	48	63.50	66.50
D	6	6	6	6	6	6



FLARED END SECTION (FES) - HDPE

SCALE: NONE

10 / D-2

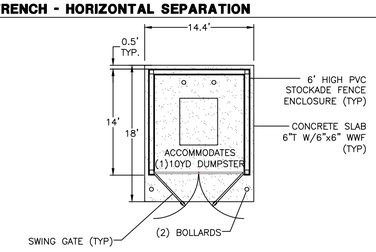


NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO TOWN OF BROOKLINE SPECIFICATIONS.
2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

UTILITY TRENCH - HORIZONTAL SEPARATION

11 / D-2



DUMPSTER ENCLOSURE

JULY 2010

12 / D-2

MERIDIAN LAND SERVICES, INC.
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL: 603-673-1441
MERIDIANLANDSERVICES.COM FAX: 603-673-1834

ISSUED FOR STATE AND/OR MUNICIPAL REVIEW ONLY

REV.	DATE	DESCRIPTION	BLR	SRF
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C	--	--	--	--
B	4/4/2023	STAFF & PB COMMENTS	--	--
A	3/3/2023	TOWN REVIEW COMMENTS	--	--

FLAWLESS FLOORS
CONSTRUCTION DETAILS

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: AS NOTED

D-2
SHEET

FILE: 00159I07B.dwg
PROJECT 00159.07
SHEET NO. 12 OF 13

Plotted: 4/4/2023 1:08 PM By: BLR
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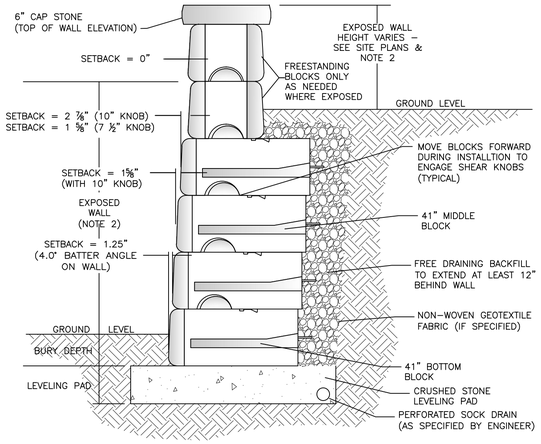
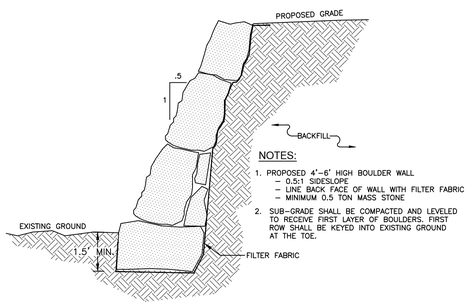


NOTES:

1. LOAD CONDITION A SHOWN (NO BACKSLOPE – NO SURCHARGE)
2. WALL FINISH : LIMESTONE TEXTURED PATTERN, BEIGE COLOR.

GRAVITY WALL WITH 41" BLOCKS, EXPOSED TOP (TWO SIDED) (1 / D-3)

[REDI-ROCK INTERNATION, LLC. RETAINING WALL #4] SCALE: NONE



NOTES:

1. PROPOSED 4'–6' HIGH BOULDER WALL
   - 0.5:1 SIDESLOPE
   - LINE BACK FACE OF WALL WITH FILTER FABRIC
   - MINIMUM 0.5 TON MASS STONE
2. SUB-GRADE SHALL BE COMPACTED AND LEVELED TO RECEIVE FIRST LAYER OF BOULDERS. FIRST ROW SHALL BE KEYED INTO EXISTING GROUND AT THE TOE.

BOULDER RETAINING WALL (2 / D-3)

SCALE: NONE

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FLAWLESS FLOORS

CONSTRUCTION DETAILS

FEBRUARY 14, 2023

IAN & ELIZABETH SARBACKER
POST OFFICE DRIVE
MAP F LOT 4-3
BROOKLINE, NEW HAMPSHIRE

SCALE: AS NOTED

D-3
SHEET

FILE: 00159I07B.dwg
PROJECT 00159.07
SHEET NO. 13 OF 13

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