

HOUSING FOR OLDER PERSONS DEVELOPMENT

PREPARED FOR:

JAY CHRYSTAL

TAX MAP H PARCEL 42

23 MAIN STREET

BROOKLINE, NEW HAMPSHIRE

REVISED MAY 11, 2022

MUNICIPAL CONTACTS:

TOWN PLANNER

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1 MAIN STREET
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PROFESSIONAL CONTACTS:

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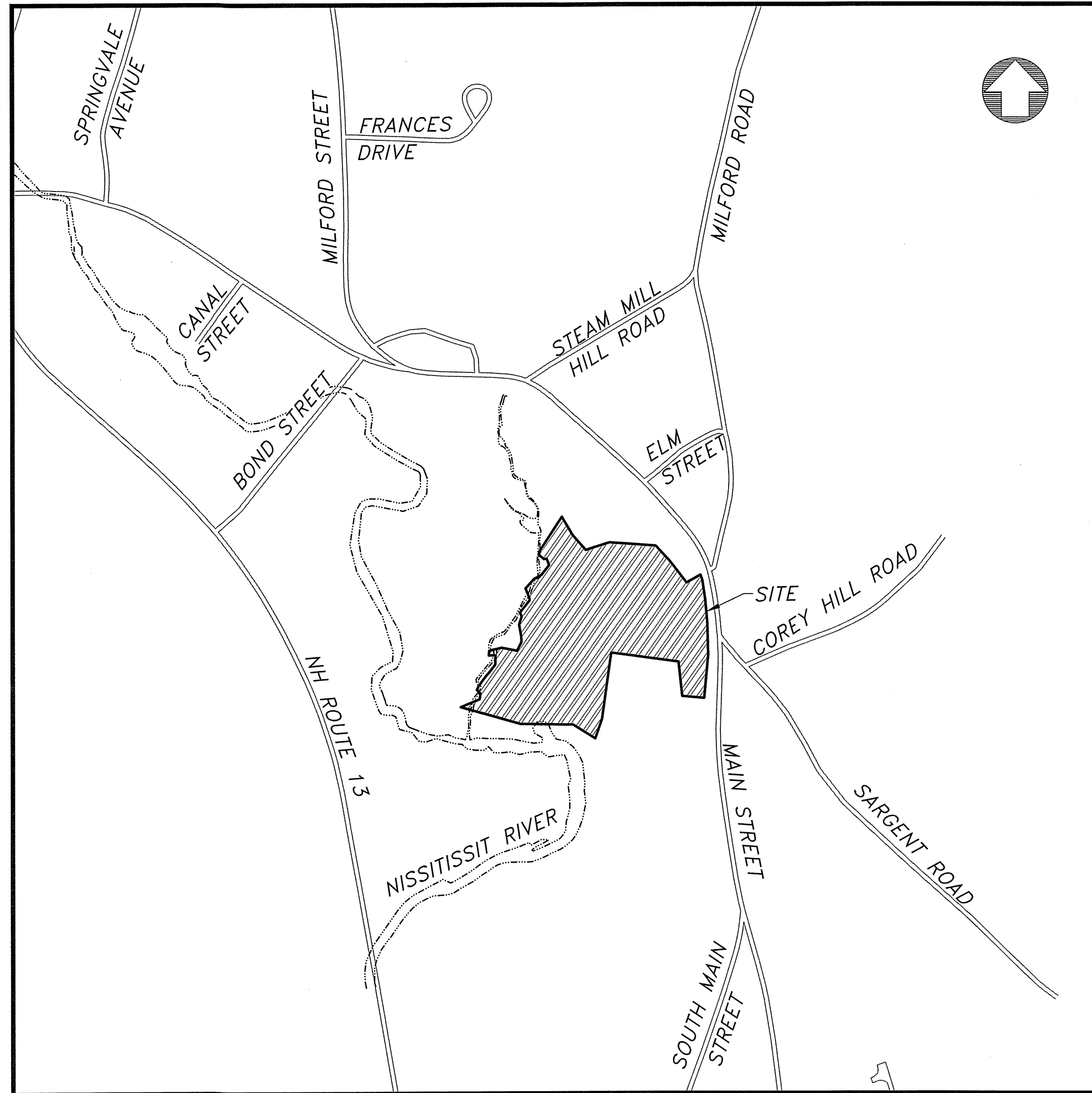
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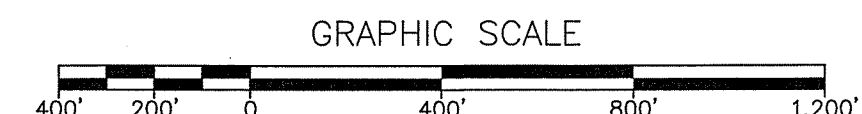
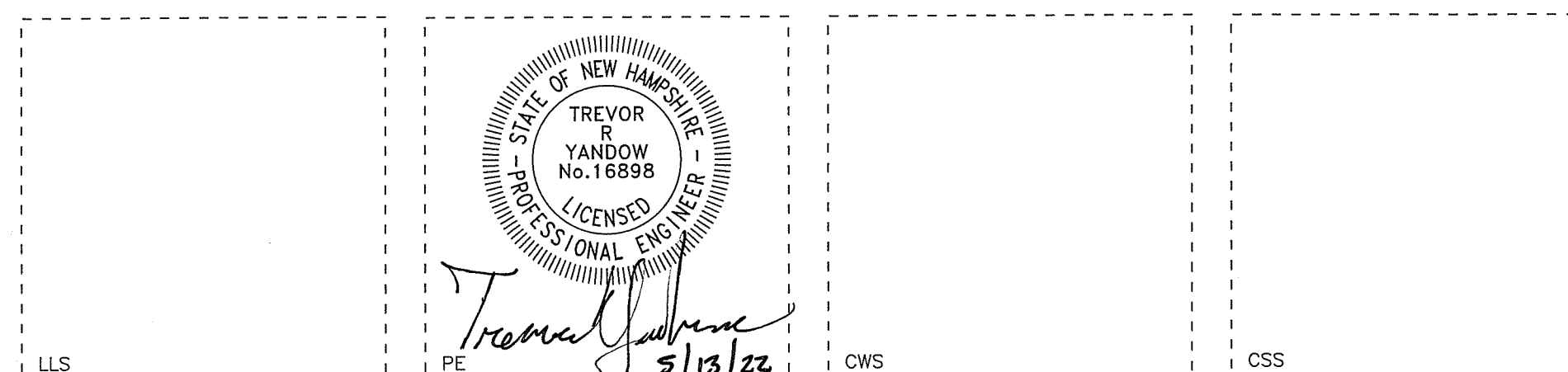
WETLAND SCIENTIST

THOMAS C CARR, CWS/CSS
MERIDIAN LAND SERVICES, INC.
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SCALE 1"=400'

MERIDIAN DESIGN PROFESSIONALS:



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PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

- A. BROOKLINE PLANNING BOARD NON-RESIDENTIAL SITE PLAN (NRSP), PENDING.
- B. NHDES ALTERATION OF TERRAIN PERMIT, PENDING.
- C. NHDES CONSTRUCTION APPROVAL (SEPTIC), PENDING.
- D. NHDOT DRIVEWAY PERMIT, PENDING
- E. US EPA CONSTRUCTION GENERAL PERMIT (PROGRAMMATIC)

APPROVED BY BROOKLINE PLANNING BOARD

ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____

APPLICANT:

JAY CHRYSTAL
14 BEN FARNSWORTH ROAD
BROOKLINE, NH 03033

OWNER:

FELIX J. AND ELEANOR MONIUS
PO BOX 52
23 MAIN STREET
BROOKLINE, NH 03033

Issued For: MUNICIPAL REVIEW
MAY 13, 2022



D	---	---	---	---	---
C	---	---	---	---	---
B	---	---	---	---	---
A	5/13/22	TOWN PB SUBMISSION	---	TRY	TRY
REV.	DATE	DESCRIPTION	C/O	DR	CK



FILE:30777K05B.dwg PROJECT NO. 3077.05 SHEET NO. 1 OF 12

PURPOSE OF PLAN:

TO SHOW THE IMPROVEMENTS NECESSARY TO PERMIT AND CONSTRUCT A 17 UNIT HOUSING FOR OLDER PERSONS DEVELOPMENT(HOPD).

GENERAL:

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LABOR AND SAFETY REQUIREMENTS (IE OSHA, NIOSH, MHSA, DOL, ETC.).
- AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (IE BUILDINGS, PAVEMENTS, STONE, ETC.) SHALL BE STABILIZED WITH LOAM AND SEED.
- ALL SITE WORK SHALL CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' (STANDARD SPEC), INCLUDING ALL REVISIONS AND ADDENDA.
- UPON AWARD OF THE CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AT INTERFACES WITH PROPOSED PAVEMENTS AND EXISTING GROUND ELEVATIONS ADJACENT TO PROPOSED DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND/OR RIGHT-OF-WAYS WITHOUT APPROPRIATE PERMITS.
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) INCLUDING ALL REVISIONS AND ADDENDA.
- AREAS DISTURBED BY CONTRACTOR OUTSIDE OF THE LIMITS OF WORK SHALL BE RESTORED BY CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. 'ORIGINAL CONDITION' SHALL BE DETERMINED BY PROJECT CIVIL ENGINEER FOR ONSITE AREAS, AND THE TOWN OF AMHERST FOR OFFSITE AREAS.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MEDIA ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, BASED ON VISUAL, OLFATORY, OR OTHER EVIDENCE, CONTRACTOR SHALL STOP ALL OPERATIONS IN THE VICINITY OF THE SUSPECTED CONTAMINATION AND CONTACT OWNER IMMEDIATELY.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS, AND CORRECTIVE ACTION.
- DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE EFFECTS TO OFFSITE AREAS AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE AT NO ADDITIONAL EXPENSE TO OWNER.
- THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. CONTRACTOR SHALL CONFIRM THAT OWNER HAS ALSO FILED AN NOI.
- SNOW SHALL BE STORED ONSITE IN THE AREAS DESIGNATED ON THE DRAWINGS. EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- IN THE EVENT OF CONFLICTING STANDARDS, SPECIFICATIONS, REGULATIONS, ETC. THE HIGHER REQUIREMENT SHALL PREVAIL.
- CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM OWNER PRIOR TO PERFORMING ANY ADDITIONAL SERVICES OR WORK, NOT SHOWN ON THE PROJECT DRAWINGS, OR CONTAINED IN THE PROJECT DOCUMENTS. FAILURE TO OBTAIN AUTHORIZATION PRIOR TO PERFORMING WORK, MAY INDEMNIFY OWNER FROM ADDITIONAL EXPENSES AND COSTS BORNE BY CONTRACTOR.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDINGS, FACE OF WALLS, CENTER OF PIPE, AND CENTER OF PAVEMENT MARKINGS, UNLESS OTHERWISE INDICATED, AND AS FOLLOWS:
 - SIDEWALK WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK;
 - PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
- CURB RADII ARE FIVE FEET (5') UNLESS OTHERWISE INDICATED.
- CURBING SHALL BE ASPHALTIC CAPE COD BERM (CCB) UNLESS OTHERWISE INDICATED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT STRUCTURE DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, STAIRWAYS, ENTRANCES, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS).
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET. THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING CONSTRUCTION.
- STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS. BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

UTILITIES:

- LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. OWNER OR ITS REPRESENTATIVE(S) HAVE NOT NECESSARILY INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE DRAWINGS, AND AS FOLLOWS:
 - UTILITY INFORMATION OR OTHER DATA SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE OR SERVICEABILITY OF UTILITIES;
 - DOES NOT GUARANTEE THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT, WHICH MAY NOT BE SHOWN ON THE DRAWINGS;
 - PRIOR TO ORDERING MATERIALS CONTRACTOR SHALL:
 - VERIFY AND DETERMINE EXACT LOCATIONS, SIZES, ELEVATIONS, AND MATERIAL TYPES OF EXISTING UTILITIES AT POINTS OF CONNECTIONS;
 - SHALL CONFIRM THAT THERE ARE NOT INTERFERENCES WITH EXISTING UTILITIES AND PROPOSED ROUTES.
- WHERE EXISTING UTILITIES ARE FOUND TO CONFLICT WITH PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS, SUCH THAT WORK CANNOT BE COMPLETED AS INTENDED ON THE DRAWINGS, THE CONTRACTOR SHALL:
 - CONTACT OWNER AND DESIGNATED REPRESENTATIVE(S), WITHOUT DELAY BY CONTRACTOR, AND FURNISH THE FOLLOWING INFORMATION AS FOLLOWS:
 - IN WRITING;
 - ACCURATE LOCATION, ELEVATION, SIZE, TYPE, AND MATERIAL OF THE UTILITY;
 - FAILURE OF CONTRACTOR TO NOTIFY OWNER, MAY INDEMNIFY OWNER OF ANY ADDITIONAL COSTS, CHANGE ORDERS, OR FEES BORNE BY CONTRACTOR AND AS FOLLOWS:
 - IN A TIMELY FASHION OR PER THE CONTRACT DOCUMENTS FOR RESOLUTION OF A CONFLICT;
 - PERFORMING ADDITIONAL WORK OR DIFFERENTIATION FROM THE CONTRACT DOCUMENTS, WITHOUT ATTAINING AUTHORIZATION FROM OWNER.
- LOCATION, SIZE, DEPTH AND CONSTRUCTION SPECIFICATIONS OF PROPOSED PRIVATE UTILITIES AND SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS OF THE RESPECTIVE PRIVATE/PUBLIC UTILITY COMPANY (IE SEWER, WATER, GAS, TELEPHONE, ELECTRIC, CABLE, FIRE ALARM, SECURITY ALARM, ETC.). FINAL DESIGN LOADS SHALL BE COORDINATED BY OWNER, ARCHITECT, OR RESPECTIVE TRADE RESPONSIBLE FOR CONSTRUCTION OF SAID UTILITY (IE ELECTRICIAN, PLUMBER, PIPE FITTER, ETC.).
- UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE INDICATED:
 - POTABLE WATER: POLYETHYLENE (PE) DIAMETER RATIO 9 (DR-9), PRESSURE CLASS 250 PSI;
 - SANITARY SEWER/ SEPTIC:
 - GRAVITY: POLYVINYLCHLORIDE (PVC) STANDARD DIAMETER RATIO 35 (SDR-35);
 - FORCE MAIN: POLYETHYLENE (PE) DIAMETER RATIO 9 (DR-9), PRESSURE CLASS 250 PSI;
 - STORM SEWER: DUAL WALL, SMOOTH INTERIOR, WATER TIGHT, HIGH DENSITY POLYETHYLENE (HDPE).
- WHERE SEWER PIPES CROSS WATER PIPES, AND ONE AND ONE HALF FEET (1.5') OF SEPARATION (FROM OD TO OD), WHERE THE WATER PIPE IS ABOVE THE SEWER PIPE, CANNOT BE ACHIEVED, THE SEWER PIPE SHALL BE:
 - CLASS 52 DUCTILE IRON FOR A MINIMUM OF TEN FEET (10') TO EITHER SIDE OF THE WATER PIPE;
 - SHALL BE A CONTINUOUS PIECE OF PIPE WITH NO JOINTS;
 - SHALL BE IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS AND PER THE CONTRACT DOCUMENTS.

- STORM AND SANITARY SEWER STRUCTURES SHALL HAVE A MINIMUM INTERIOR DIAMETER OF FOUR FEET (4'). THE FINAL INTERIOR DIAMETER SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE SIZES AND CONFIGURATIONS SHOWN ON THE DRAWINGS.
- GRATES, COVERS, VALVE COVERS, GAS GATES, PULL BOX COVERS SHALL BE SET AND/OR RESET AS FOLLOWS:
 - PAVEMENT SURFACES: FLUSH
 - SURFACES WITHIN ACCESSIBLE ROUTES: FLUSH
 - LANDSCAPE, TURF, OR OTHER EARTH SURFACES: ONE INCH (1") ABOVE FINAL GRADE, WITH EARTH TAPERED UP TO THE FINAL COVER/RIM ELEVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH AND PAYING FEES ASSOCIATED FOR RELOCATING AND/OR ALTERATION TO UTILITY POLES AND ABOVE AND/OR UNDERGROUND UTILITIES (IE GAS, TELEPHONE, ELECTRIC, CABLE, FIRE/SECURITY ALARM, ETC.), IRRESPECTIVE OF WHETHER THE WORK IS PERFORMED BY THE PRIVATE UTILITY.

CONSTRUCTION SEQUENCE:

- SURVEY AND MARK LIMITS OF WORK;
- MARK ALL WETLAND BOUNDARIES WITH CONSTRUCTION FENCING;
- PRIOR TO THE START OF WORK:
 - INSTALL/CONSTRUCT EROSION CONTROL MEASURES (IE SILTATION FENCE, CHECK DAMS, INLET/OUTLET PROTECTION, ETC.) AS INDICATED BY THE APPROVED SWPPP AND EROSION CONTROL PLANS, AND AS DEEMED NECESSARY BY THE OWNER. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THROUGHOUT THE DURATION OR WORK, AND AS REQUIRED BY NHDES AND THE SWPPP;
 - INSTALL TRAFFIC/PEDESTRIAN CONTROL SIGNS, BARRIERS, AND APPURTENANCES AS NECESSARY.
- CONTACT DIG-SAFE (1-888-DIGSAFE), A MINIMUM OF 72 HOURS, PRIOR TO ANY EARTH MOVING OR EXCAVATION OPERATIONS.
- INSTALL TEMPORARY UTILITY SERVICES AS REQUIRED.
- STORMWATER PONDS, INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE.
- INSTALL PROPOSED UTILITIES AS REQUIRED.
- REMOVE FEATURES AS NECESSARY AND WHEN APPROPRIATE.
- PREPARE ROADWAY AND SIDEWALK BASES.
- ADJUST GRATES, COVERS, AND RIMS AS NECESSARY FOR PAVING;
- INSTALL CURBING, AND ROADWAY AND SIDEWALK PAVEMENTS;
- PERFORM ALL REMAINING WORK;
- FINISH GRADE AND RESTORE AREAS OUTSIDE OF THE WORK AREAS DISTURBED BY WORK, INCLUDING BUT NOT LIMITED TO, LAWNS, LANDSCAPE AREAS, WALKS, AND OTHER PRIVATE/PUBLIC FEATURES, DAMAGED BY WORK;
- REMOVE TEMPORARY EROSION CONTROL MEASURERS, AFTER AREAS THEY ARE SERVICING HAVE BECOME STABILIZED;
- CLEAN ALL STORM SEWER BASINS, STRUCTURES, PIPES, AND APPURTENANCES OF ANY SILT AND DEBRIS. OUTLET POINTS SHALL BE PROTECTED TO PREVENT AND ADVERSE DOWNSTREAM IMPACTS.
- CONDUCT FINAL CLEANUP, ANY ANCILLARY WORK, AND DEMOBILIZATION EFFORTS AS REQUIRED.



WILDLIFE PROTECTION NOTES:

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NHB22-0277. HOUSING FOR OLDER PERSONS DEVELOPMENT. WILDLIFE SPECIES OBSERVATION.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHF&G IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHF&G AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHF&G, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
- THE NHF&G, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

EXISTING LEGEND:

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- TOWN LINE
- HIGHWAY CENTERLINE
- ABUTTING LOT LINE
- FORMER TRACT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EXISTING GRAVEL ROAD
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EDGE OF WETLANDS
- EDGE OF WATER
- U.S.D.A. SOILS BOUNDARY

- STONE WALL
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- EXISTING TAX MAP AND LOT NUMBER
- PROPOSED STREET NUMBER
- EXISTING BUILDING
- TEST PIT DATA
- TEST PIT NUMBER
- DEPTH-LEDGE FOUND
- DEPTH-SEASONAL HIGH WATER FOUND
- 4,000 S.F. SEPTIC AREA

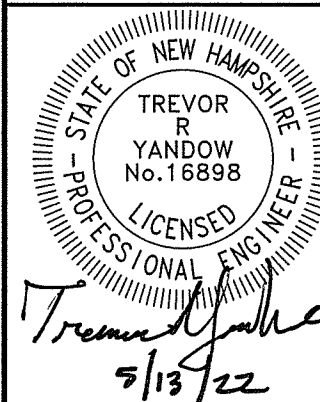
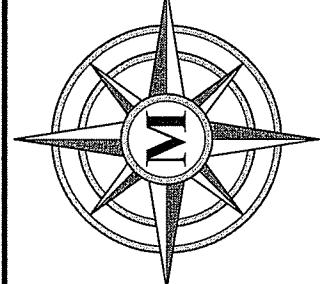
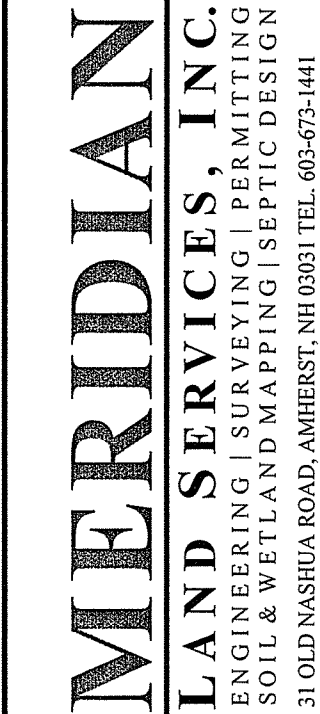
- SEPTIC SETBACK LINE
- EXISTING TREE LINE

- EXISTING RIP-RAP AREA
- EXISTING STONE RETAINING WALL
- EXISTING CHAINLINK FENCE LINE
- EXISTING STOCKADE FENCE LINE
- EXISTING GUARDRAIL LINE
- EXISTING GRANITE BOUND FOUND
- EXISTING DRILL HOLE FOUND/SET
- EXISTING IRON PIPE FOUND
- EXISTING MONITORING WELL
- EXISTING SEWER MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING MANHOLE
- EXISTING CATCH BASIN SQUARE
- EXISTING CATCH BASIN ROUND
- EXISTING LIGHT
- EXISTING SINGLE POST SIGN
- EXISTING DOUBLE POST SIGN
- EXISTING WATER HYDRANT
- EXISTING WATER VALVE
- EXISTING SHUT-OFF
- EXISTING WELL
- EXISTING GAS VALVE
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING WETLAND FLAG
- EXISTING BENCHMARK SET
- EXISTING BOULDERS
- EXISTING BORING

- EXISTING SEWER EASEMENT
- EXISTING DRAINAGE EASEMENT
- EXISTING UTILITY EASEMENT
- EXISTING RAILROAD EASEMENT

PROPOSED LEGEND:

- I.PIN/D.H.(TBS)
- I.PIN/DH TO BE SET
- GRANITE BOUND TO BE SET
- 10' CONTOUR
- 2' CONTOUR
- BUILDING
- STORMWATER BASIN
- ASPHALT SURFACE



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HOUSING FOR OLDER PERSONS DEVELOPMENT

GENERAL NOTES & LEGEND

JAY CHRYSTAL

23 MAIN STREET

TAX MAP H PARCEL 42

BROOKLINE, NEW HAMPSHIRE

SCALE: NONE

JANUARY 18, 2022

SP-1

SHEET

FILE: 30777K05B.dwg

PROJECT 3077.05

SHEET NO. 2 OF 12

NOTES:

1. THE OWNERS OF RECORD OF TAX MAP PARCEL H-42 ARE FELIX J. & ELEANOR MONIUS - 23 MAIN STREET, BROOKLINE, N.H. DEED REFERENCES ARE VOL. 1627 PG. 295 DATED NOV. 28, 1960 AND VOL. 1914 PG. 265 DATED NOV. 1, 1966, IN THE H.C.R.D. APPLICANT/DEVELOPER IS JAY CHRYSTAL, 14 BEN FARNSWORTH RD., BROOKLINE, NH 03033.

2. THE PURPOSE OF THIS PLAN IS DEFINE A 17 UNIT HOUSING FOR OLDER PERSONS DEVELOPMENT ON LOT H-42, AS SHOWN.

3. H-42 DENOTES TAX MAP PAGE AND PARCEL NUMBER.

4. THE TOTAL AREA OF THE SITE IS 13.15± ACRES OR 572,900± SQ.FT.

4. THE PERIMETER OF LOT H-42 & IS THE RESULT OF A BOUNDARY SURVEY BY THIS OFFICE.

5. THE WETLANDS SHOWN WERE DELINEATED BY CERTIFIED WETLANDS SCIENTIST THOMAS E. CARR, CWS, FROM THIS OFFICE, IN AUGUST, 2021, IN ACCORDANCE WITH "CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".

6. THE NISSITISSIT RIVER AND ABUTTING BUILDINGS SHOWN WERE DEVELOPED FROM THE 2010 NEW HAMPSHIRE GRANIT AERIAL PHOTOGRAPHY, ON FILE AT NEW HAMPSHIRE GRANIT.

7. ZONING FOR THE SITE IS RESIDENTIAL-AGRICULTURAL. MINIMUM HOPD REQUIREMENTS ARE: MINIMUM AREA-10 CONTIGUOUS ACRES, MINIMUM FRONTAGE-50.00', MINIMUM FRONT SETBACK IS 30', MINIMUM PERIMETER BUILDING SETBACK IS 75' WITH A MINIMUM OF 25' BETWEEN SINGLE STORY BUILDINGS. MINIMUM OPEN SPACE REQUIREMENTS ARE: 20% OF THE TOTAL TRACT AREA WITH 55% OF THE REQUIRED OPEN SPACE BEING UPLAND WITH SLOPES LESS THAN 25%. 50% OF THE MINIMUM REQUIRED OPEN SPACE AREA SHALL BE AVAILABLE & MANAGED FOR THE PASSIVE OR ACTIVE RECREATIONAL ACTIVITIES OF THE RESIDENTS. THIS AREA MAY CONSIST OF WALKING TRAIL, INFORMAL MEETING AREAS, GARDENS, ACTIVE RECREATION AREAS, OR OTHER RECREATIONAL AMENITIES.

8. OPEN SPACE REQUIRED IS 20% OF TRACT TOTAL (13.15+/- ACRES) OR 2.63+/- ACRES, PROVIDED IS 6.42+/- ACRES. 55% OF THE MINIMUM OPEN SPACE OR 1.62+/- ACRES IS REQUIRED TO BE OUTSIDE OF 50' BUFFER, 2.2+/- ACRES PROVIDED. LOT DENSITY ALLOW IS 1 UNIT PER .5 ACRE OF CONTIGUOUS UPLAND WITH SLOPES UNDER 25%, SITE HAS 10.7 +/- ACRES OF NON-STEEP UPLAND; THEREFORE 21 UNITS ARE ALLOWED WITH 17 UNITS PROPOSED.

9. THE SITE LIES PARTIALLY WITHIN THE FIRM 1% ANNUAL CHANCE OF FLOOD HAZARD, PARTIALLY WITHIN THE N.H. SHORELAND PROTECTION DISTRICT AND ENTIRELY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT.

SOILS INFORMATION.

DeA DEERFIELD LOAMY FINE SAND, 0 TO 3% SLOPES
HsA HICKLEY LOAMY SAND, 0 TO 8% SLOPES
HsB HICKLEY LOAMY SAND, 3 TO 8% SLOPES
HsD HICKLEY LOAMY SAND, 15 TO 35% SLOPES
Rp RIPPOWAM FINE SANDY LOAM, NEARLY LEVEL

THE SOILS INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM U.S.D.A.S.G.S. SOIL SURVEY OF HILLSBOROUGH COUNTY, EASTERN PART DATED OCT., 1981.

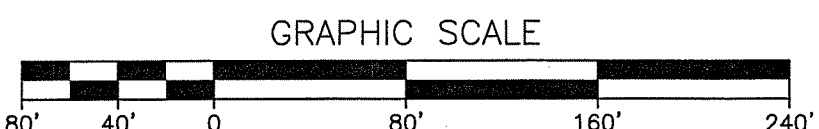
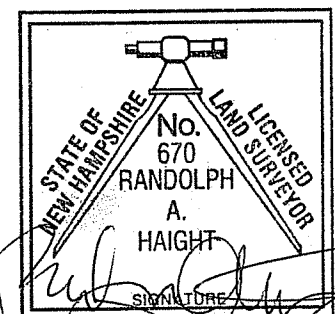
TOPOGRAPHIC INFORMATION.

THE TOPOGRAPHY SHOWN IS THE RESULT OF AN ONSITE TOPOGRAPHIC SURVEY BY THIS OFFICE, DATUM IS NGVD 1929.

CERTIFICATION.

"I HEREBY CERTIFY THAT LOT H-42 IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE LOT H-42

DATE: 5/5/22

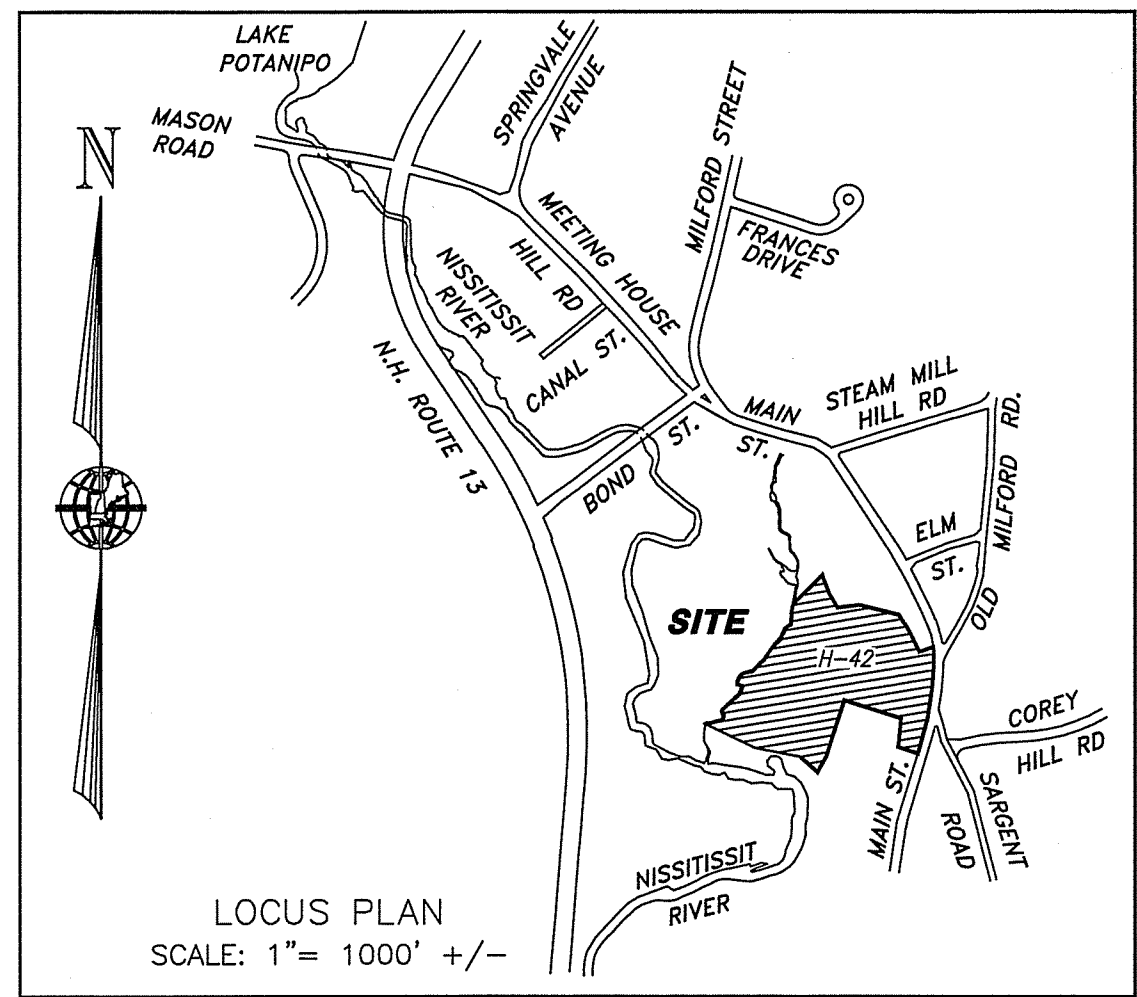
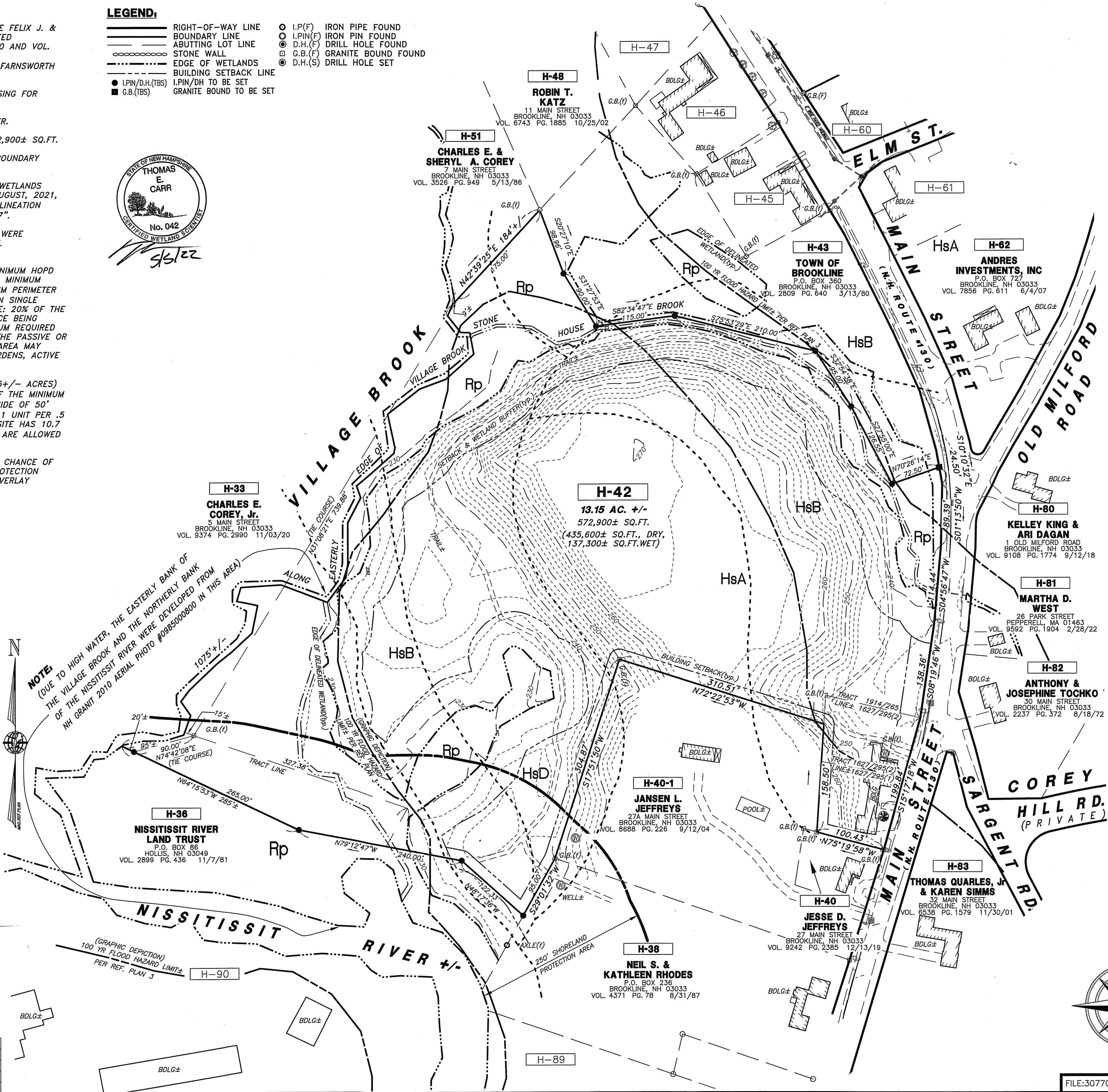
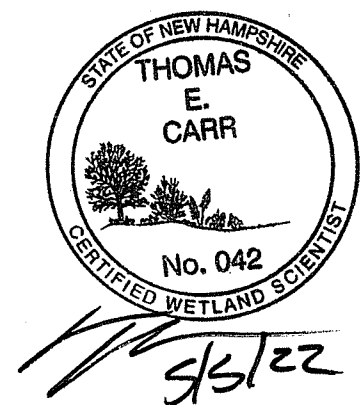


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LEGEND:

RIGHT-OF-WAY LINE
BOUNDARY LINE
ABUTTING LOT LINE
STONE WALL
EDGE OF WETLANDS
BUILDING SETBACK LINE
I.PIN/D.H.(TBS)
G.B.(TBS)

I.P.(F) IRON PIPE FOUND
I.PIN(F) IRON PIN FOUND
D.H.(F) DRILL HOLE FOUND
G.B.(F) GRANITE BOUND FOUND
D.H.(S) DRILL HOLE SET



REFERENCE PLANS.

- "LOT LINE REVISION PLAN - TAX MAP H, PARCELS 36, 42 & 43 - LAND OF - NISSITISSIT RIVER = LAND TRUST - LAND OF - FELIX J. & ELEANOR MONIUS - AND LAND OF - TOWN OF BROOKLINE - PREPARED FOR - JAY CHRYSTAL - 23 MAIN STREET - BROOKLINE, NH", SCALE: 1"=80', DATED FEBRUARY 22, 2022, REVISED THROUGH 4/27/22 BY MERIDIAN LAND SERVICES, INC., TO BE RECORDED.
- "MAIN STREET (NH ROUTE130) DRAINAGE - BROOKLINE, NEW HAMPSHIRE - TOWN OF BROOKLINE" SCALE: AS SHOWN, DATED DEC. 27, 1999, REVISED THROUGH 2-01-00 BY THIS OFFICE.
- "FIRM - FLOOD INSURANCE RATE MAP - HILLSBOROUGH COUNTY - NEW HAMPSHIRE - (ALL JURISDICTIONS) - PANEL 610 OF 701" MAP NUMBER 33011C0610D, EFFECTIVE DATE: SEPTEMBER 25, 2009, SCALE: 1"=1000', BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

APPROVED BY BROOKLINE PLANNING BOARD

ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____

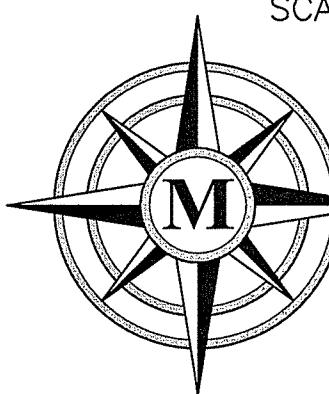
EXISTING CONDITIONS PLAN
HOUSING FOR OLDER PERSONS DEVELOPMENT
TAX MAP H, PARCEL 42

LAND OF
FELIX J. & ELEANOR MONIUS

PREPARED FOR
JAY CHRYSTAL

23 MAIN STREET
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 80' APRIL 26, 2022



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MERIDIANLANDSERVICES.COM FAX 603-673-1584

FILE:307705D-03.dwg PROJECT NO. 3077.05 SHEET NO. 3 OF 12

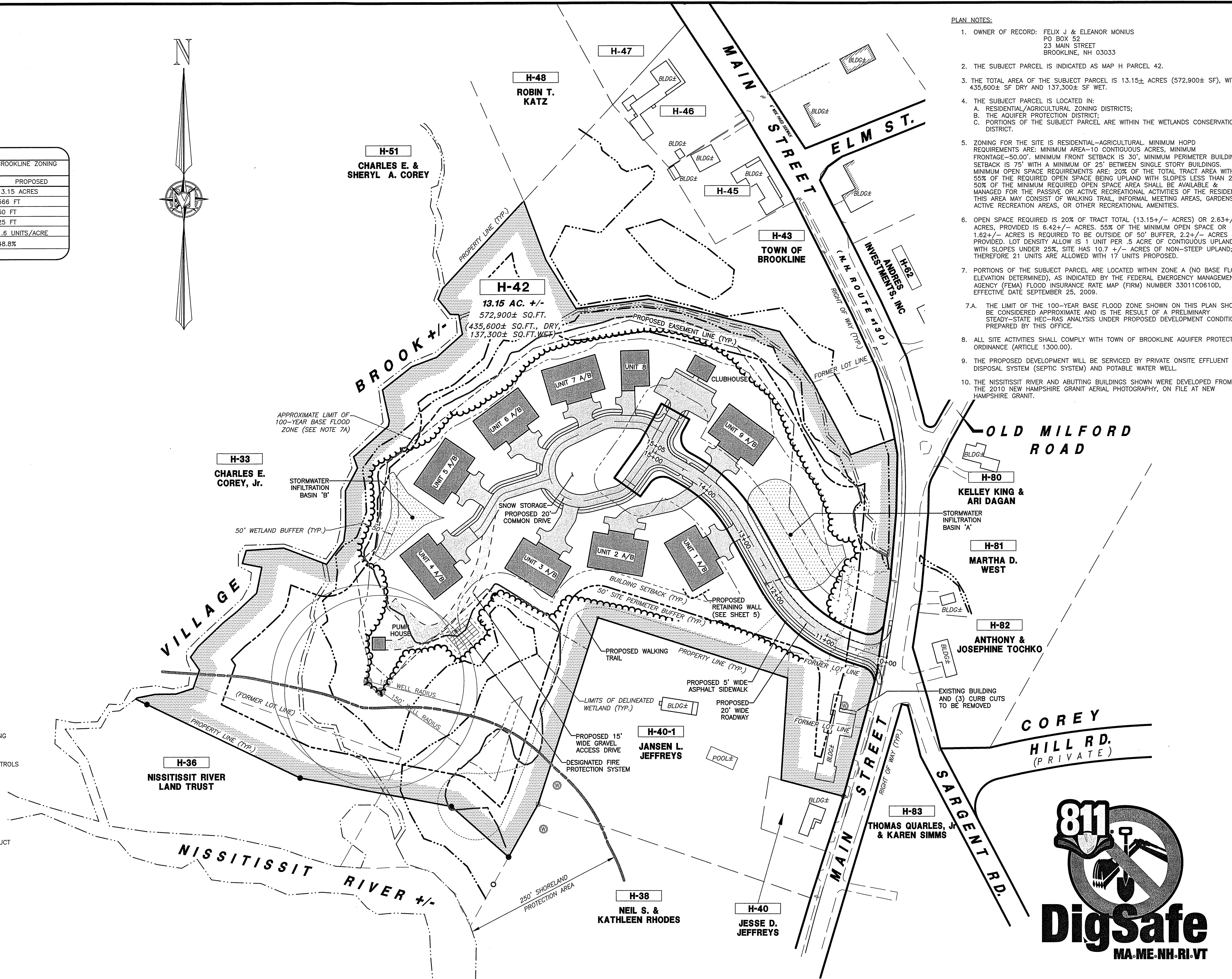
ZONING SUMMARY		
ZONE: RESIDENTIAL/AGRICULTURE PER THE TOWN OF BROOKLINE ZONING ORDINANCE		
REQUIREMENT (HOP)	REQUIRED	PROPOSED
LOT SIZE	10 ACRES	13.15 ACRES
FRONTAGE	50 FT	566 FT
SITE PERIMETER BUFFER	50 FT	50 FT
SETBACKS	25 FT	25 FT
UNIT DENSITY (SEE NOTE 6)	2 UNITS/ACRE	1.6 UNITS/ACRE
OPEN SPACE (SEE NOTE 7)	20%	48.8%

EXISTING FEATURES:

---	RIGHT OF WAY
---	EASEMENT LINE
---	APPX. ABUTTING LOT LINE
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	TREELINE
---	EDGE OF GRAVEL
---	SETBACK LINE
---	STONE WALL
---	UCU UNDERGROUND CABLE UTILITY LINE
---	OH OVERHEAD UTILITIES
---	UGU UNDERGROUND ELECTRIC LINE
---	G GAS LINE
---	UT UNDERGROUND TELEPHONE LINE
---	W POTABLE WATER LINE
---	LIMIT OF DELINEATED WETLAND
---	WETLAND BUFFER
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
---	EXISTING BUILDING
---	EXIST. GRANITE BOUND FOUND
---	EXIST. DRILL HOLE FOUND/SET
---	EXIST. IRON PIPE FOUND
---	EXISTING DRAIN MANHOLE
---	EXISTING MANHOLE
---	EXISTING CATCH BASIN SQUARE
---	EXISTING LIGHT
---	EXISTING SINGLE POST SIGN
---	EXISTING WELL
---	TEST PIT

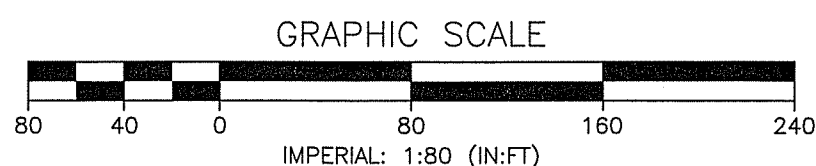
PROPOSED FEATURES:

---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED VERTICAL GRANITE CURBING
---	PROPOSED CAPE COD BERM
---	PROPOSED PERIMETER EROSION CONTROLS
---	PROPOSED FENCELINE
---	PROPOSED TREELINE
---	PROPOSED 10' CONTOUR
---	PROPOSED 2' CONTOUR
---	PROPOSED DRAIN LINE
---	PROPOSED UNDERGROUND UTILITY DUCT
---	PROPOSED POTABLE WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORMWATER BASIN
---	PROPOSED RIPRAP AREA
---	PROPOSED ASPHALT SURFACE
---	PROPOSED BUILDING
---	SPOT GRADE

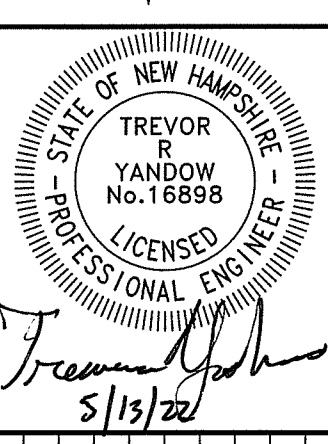
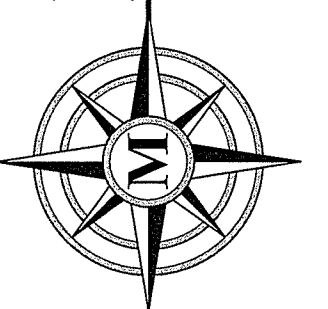


PLAN NOTES:

- OWNER OF RECORD: FELIX J & ELEANOR MONIUS
PO BOX 52
23 MAIN STREET
BROOKLINE, NH 03033
- THE SUBJECT PARCEL IS INDICATED AS MAP H PARCEL 42.
- THE TOTAL AREA OF THE SUBJECT PARCEL IS 13.15± ACRES (572,900± SF), WITH 435,600± SF DRY AND 137,300± SF WET.
- THE SUBJECT PARCEL IS LOCATED IN:
A. RESIDENTIAL/AGRICULTURAL ZONING DISTRICTS;
B. THE AQUIFER PROTECTION DISTRICT;
C. PORTIONS OF THE SUBJECT PARCEL ARE WITHIN THE WETLANDS CONSERVATION DISTRICT.
- ZONING FOR THE SITE IS RESIDENTIAL-AGRICULTURAL. MINIMUM HOPD REQUIREMENTS ARE: MINIMUM AREA-10 CONTIGUOUS ACRES, MINIMUM FRONTAGE-50.00', MINIMUM FRONT SETBACK IS 30', MINIMUM PERIMETER BUILDING SETBACK IS 75' WITH A MINIMUM OF 25' BETWEEN SINGLE STORY BUILDINGS. MINIMUM OPEN SPACE REQUIREMENTS ARE: 20% OF THE TOTAL TRACT AREA WITH 55% OF THE REQUIRED OPEN SPACE BEING UPLAND WITH SLOPES LESS THAN 25%. 50% OF THE MINIMUM REQUIRED OPEN SPACE AREA SHALL BE AVAILABLE & MANAGED FOR THE PASSIVE OR ACTIVE RECREATIONAL ACTIVITIES OF THE RESIDENTS. THIS AREA MAY CONSIST OF WALKING TRAIL, INFORMAL MEETING AREAS, GARDENS, ACTIVE RECREATION AREAS, OR OTHER RECREATIONAL AMENITIES.
- OPEN SPACE REQUIRED IS 20% OF TRACT TOTAL (13.15+/- ACRES) OR 2.63+/- ACRES, PROVIDED IS 6.42+/- ACRES. 55% OF THE MINIMUM OPEN SPACE OR 1.62+/- ACRES IS REQUIRED TO BE OUTSIDE OF 50' BUFFER, 2.2+/- ACRES PROVIDED. LOT DENSITY ALLOW IS 1 UNIT PER .5 ACRE OF CONTIGUOUS UPLAND WITH SLOPES UNDER 25%. SITE HAS 10.7 +/- ACRES OF NON-STEEP UPLAND; THEREFORE 21 UNITS ARE ALLOWED WITH 17 UNITS PROPOSED.
- PORTIONS OF THE SUBJECT PARCEL ARE LOCATED WITHIN ZONE A (NO BASE FLOOD ELEVATION DETERMINED), AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 33011C06100, EFFECTIVE DATE SEPTEMBER 25, 2009.
- A. THE LIMIT OF THE 100-YEAR BASE FLOOD ZONE SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE AND IS THE RESULT OF A PRELIMINARY STEADY-STATE HEC-RAS ANALYSIS UNDER PROPOSED DEVELOPMENT CONDITIONS PREPARED BY THIS OFFICE.
- ALL SITE ACTIVITIES SHALL COMPLY WITH TOWN OF BROOKLINE AQUIFER PROTECTION ORDINANCE (ARTICLE 1300.00).
- THE PROPOSED DEVELOPMENT WILL BE SERVICED BY PRIVATE ONSITE EFFLUENT DISPOSAL SYSTEM (SEPTIC SYSTEM) AND POTABLE WATER WELL.
- THE NISSITISSIT RIVER AND ABUTTING BUILDINGS SHOWN WERE DEVELOPED FROM THE 2010 NEW HAMPSHIRE GRANIT AERIAL PHOTOGRAPHY, ON FILE AT NEW HAMPSHIRE GRANIT.



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FAX: 603-673-1584



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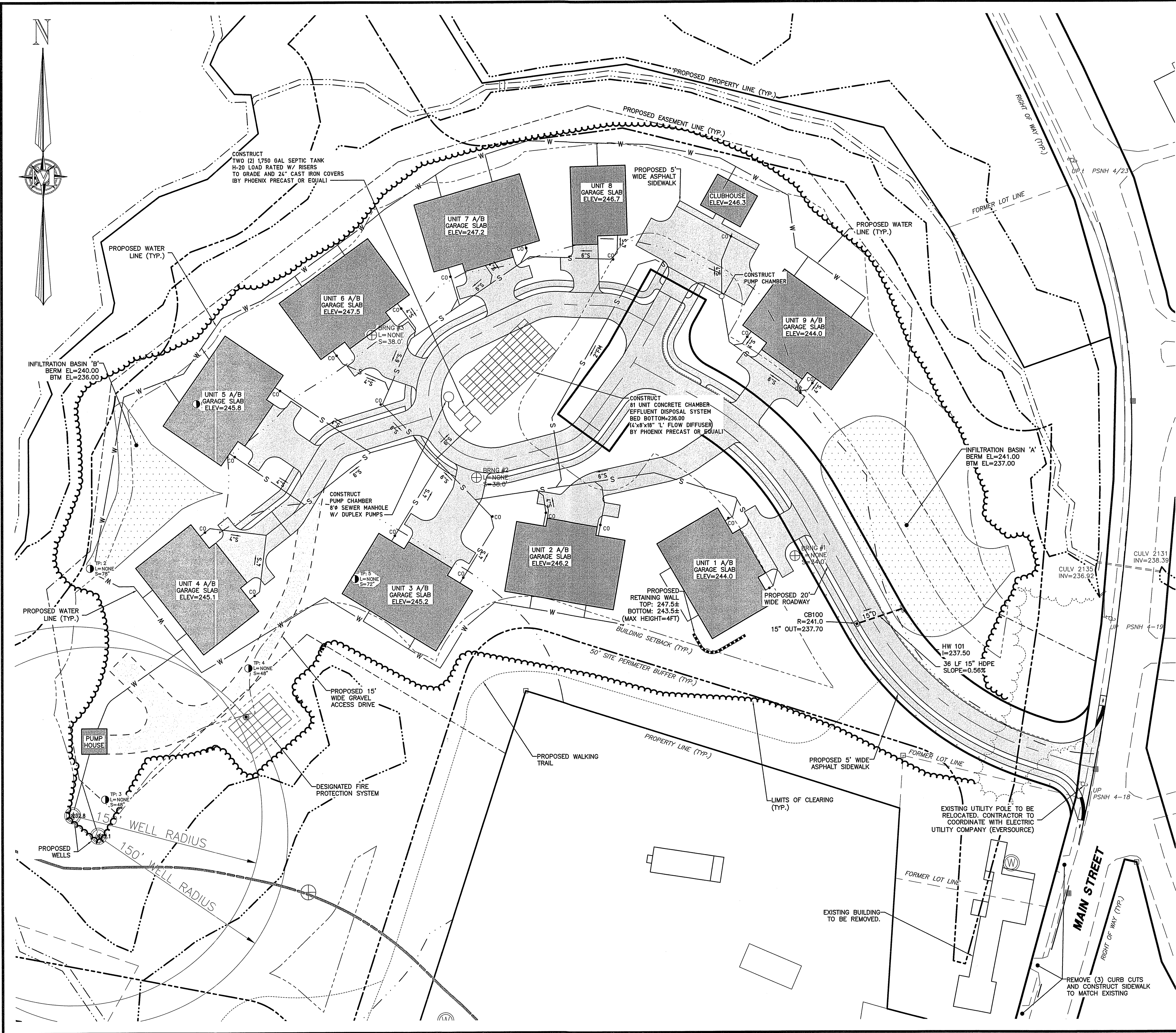
HOUSING FOR OLDER PERSONS
DEVELOPMENT
SITE LAYOUT PLAN

JAY CHRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

SP-2
SHEET

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PROJECT:	03077.05
SHEET NO.	4 OF 12

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SP-4

SHEET

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PROJECT 03077.05
SHEET NO. 6 OF 12

JAY CHRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

HOUSING FOR OLDER PERSONS
DEVELOPMENT
UTILITY PLAN

JANUARY 18, 2022

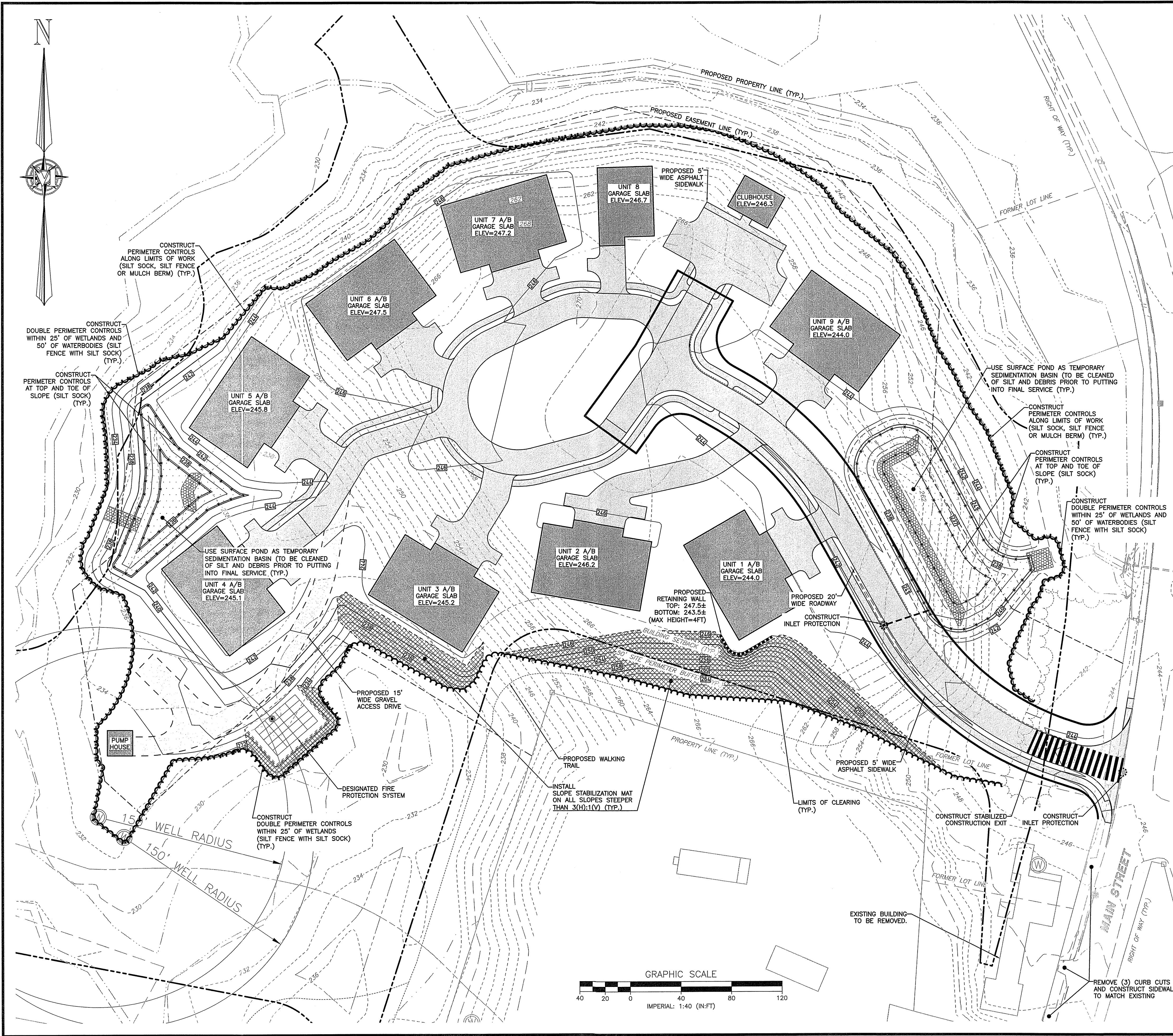
SCALE: 1" = 40'

REMOVE (3) CURB CUTS
AND CONSTRUCT SIDEWALK
TO MATCH EXISTING

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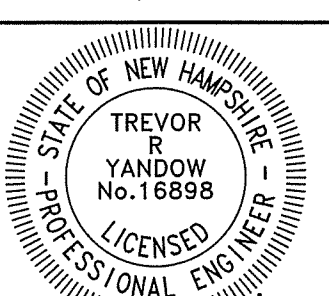
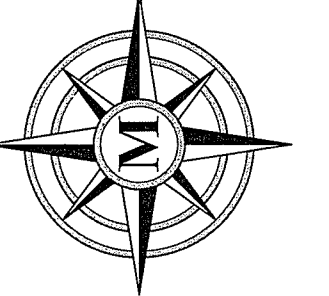


- EROSION AND SEDIMENTATION CONTROL NOTES**
- THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.
 - THE EROSION CONTROL MEASURES SHOWN ARE DIAGRAMMATIC, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLACE THE APPROPRIATE CONTROL MEASURES IN THE BEST SUITED LOCATIONS.
 - PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS (IE WETLANDS, STREAMS, ETC.) WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITED.
 - THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
 - UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
 - AREAS REMAINED UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
 - PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
 - DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
 - SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR COMPOST SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.
 - THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).
 - THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.
 - AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT WEIGHT;
B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-IN OF NON EROSION MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
E. THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.
 - AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.
 - ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
 - ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
 - ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
 - EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FT HORIZONTAL TO 1-FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.
 - THE CONTRACTOR SHALL APPLY FOR AND RECEIVE AN NHDES GROUNDWATER DISCHARGE PERMIT PRIOR TO CONDUCTING ANY DEMATERING EFFORTS AND/OR PUMPING OF GROUNDWATER.
 - EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
 - ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED		SLOPE SEED	
CREEPING RED FESCUE	0.87 LBS.	CREEPING RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSKIE CLOVER	0.18 LBS.
		BIRDSFOOT TREFOIL	0.18 LBS.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
 - FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
 - PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
 - ALL MANUFACTURED EROSION AND SEDIMENTATION CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, MULTI-FILAMENT, OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES.

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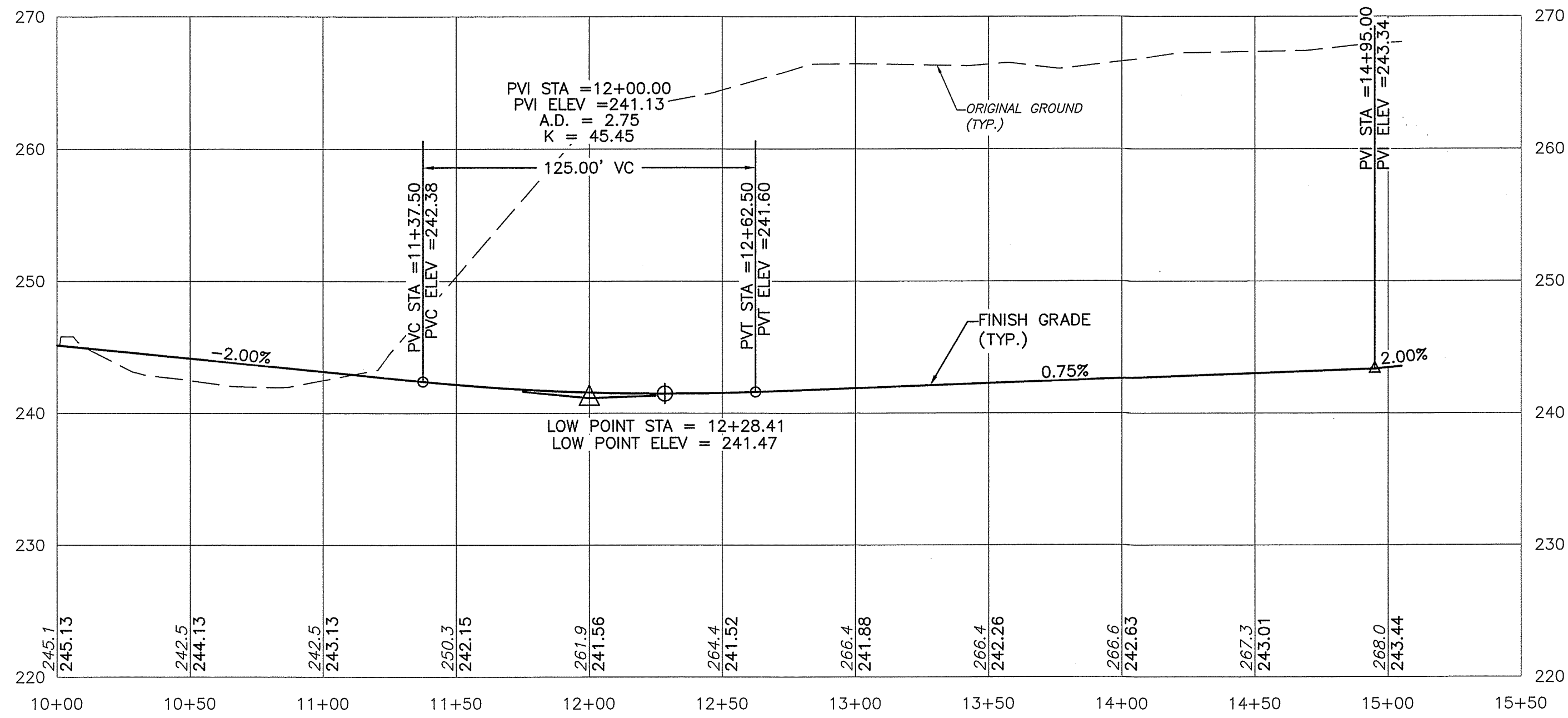
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HOUSING FOR OLDER PERSONS
DEVELOPMENT
EROSION AND SEDIMENTATION
CONTROL PLAN

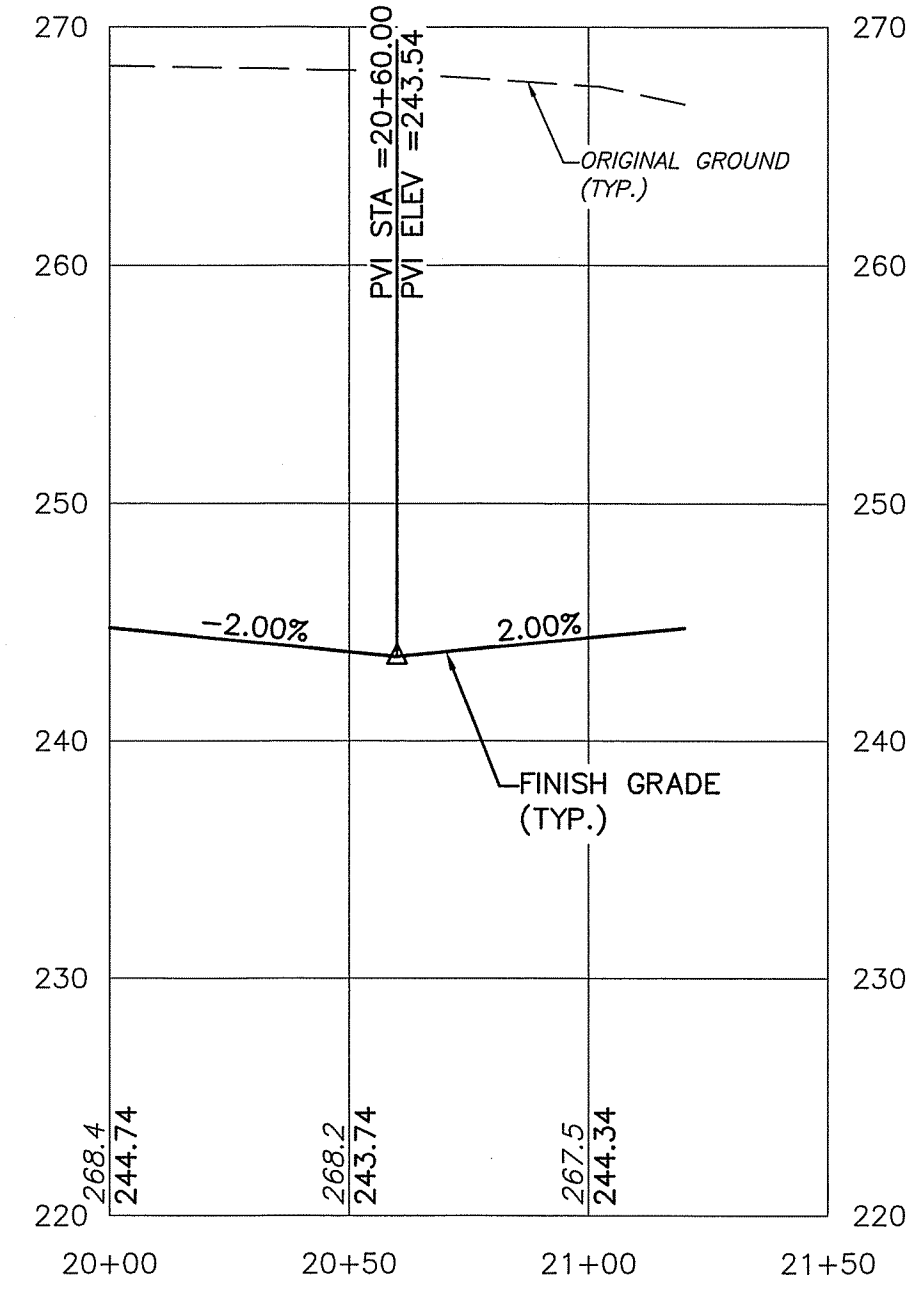
JAY CHRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

SP-5
SHEET
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PROJECT 03077.05
SHEET NO. 7 OF 12

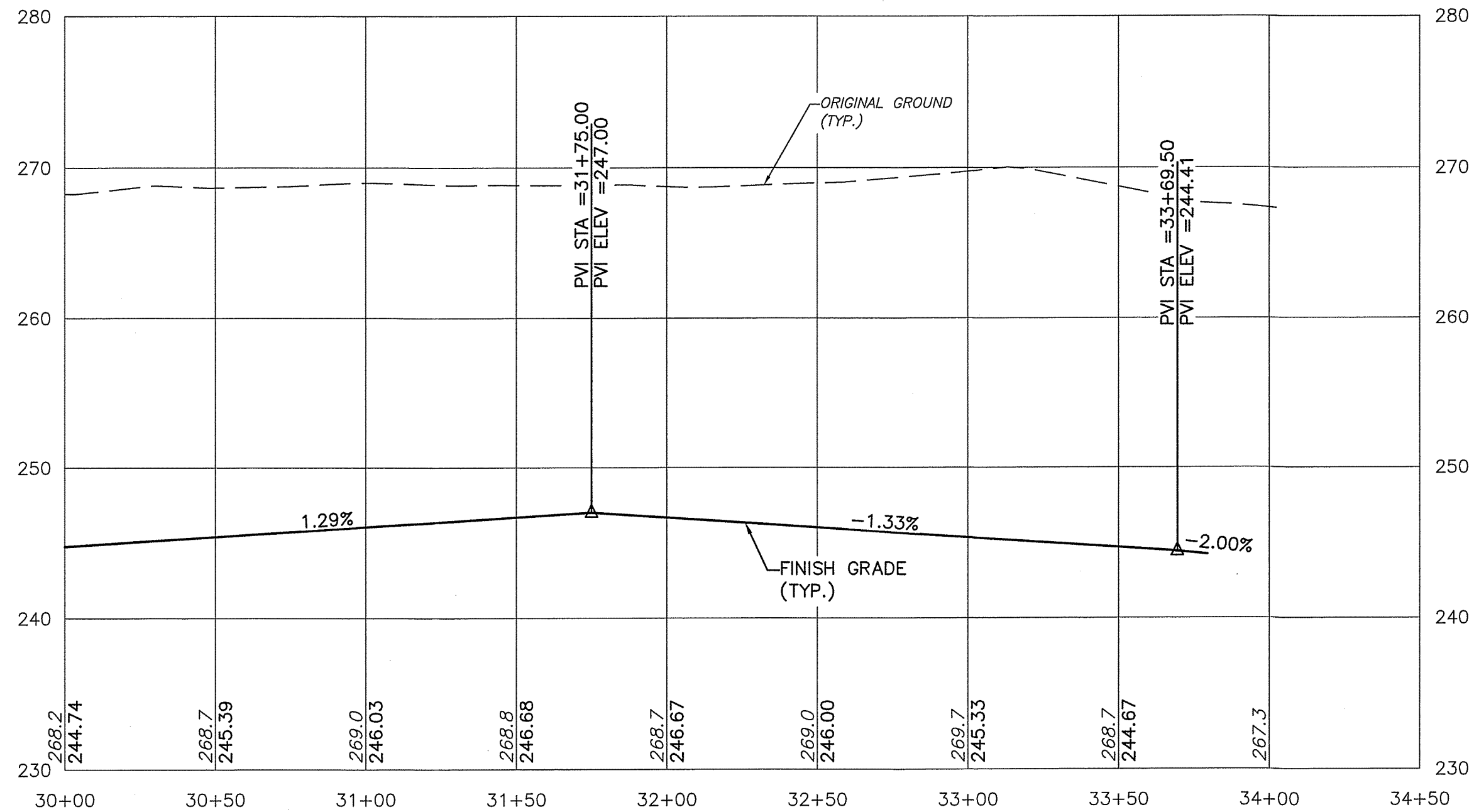
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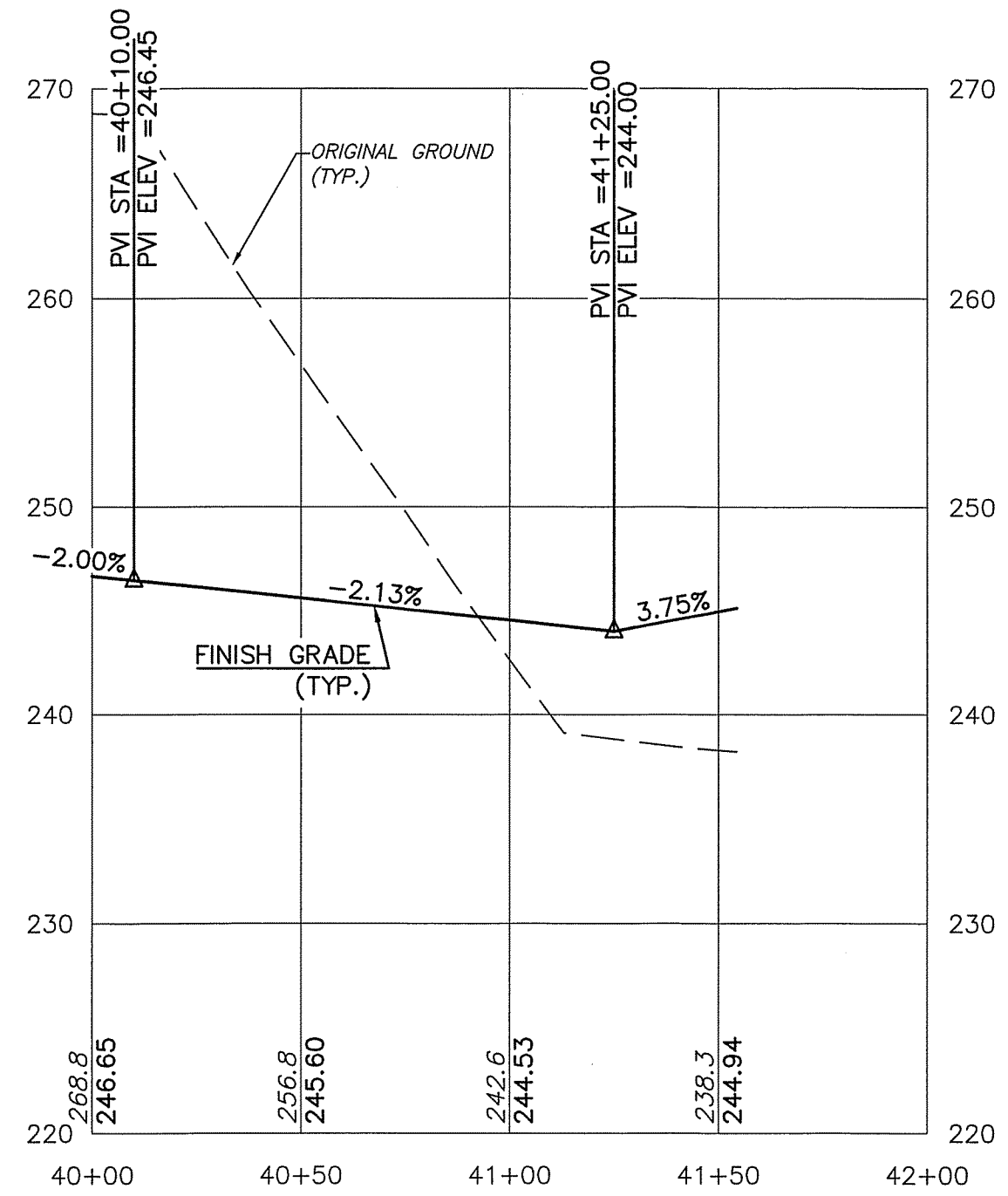
MAIN ROADWAY - STA. 10+00 TO 15+05.00



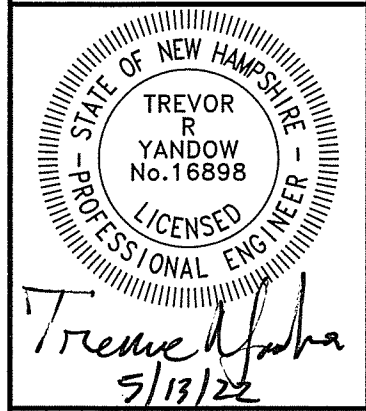
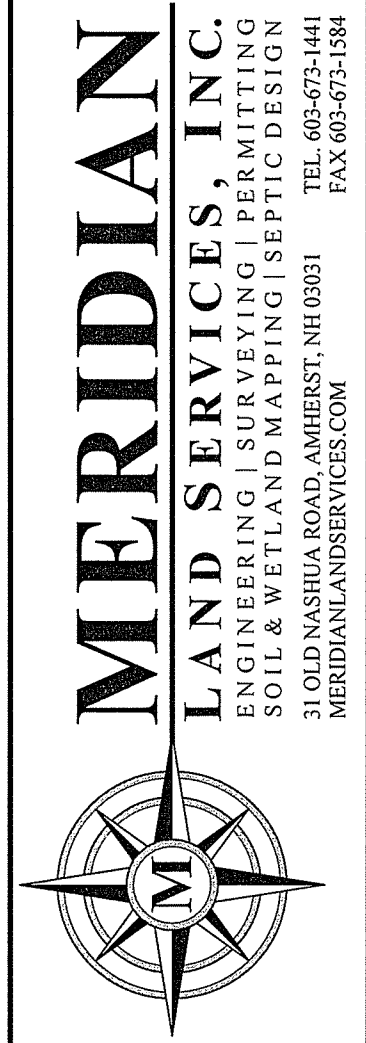
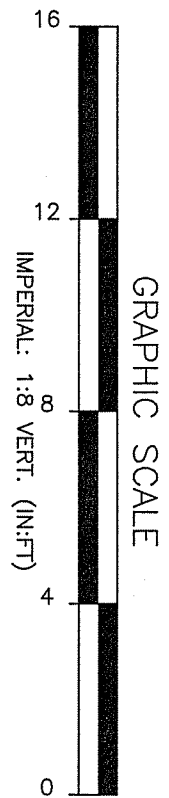
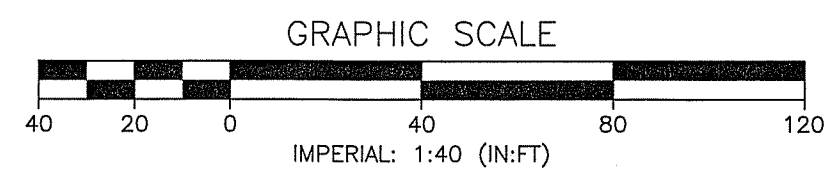
HAMMERHEAD - STA. 20+00 TO 21+20.00



LOOP COMMON DRIVEWAY - STA. 30+00 TO 33+79.05



COMMON DRIVEWAY FOR UNITS 4 AND 5 - STA. 40+00 TO 41+54.33

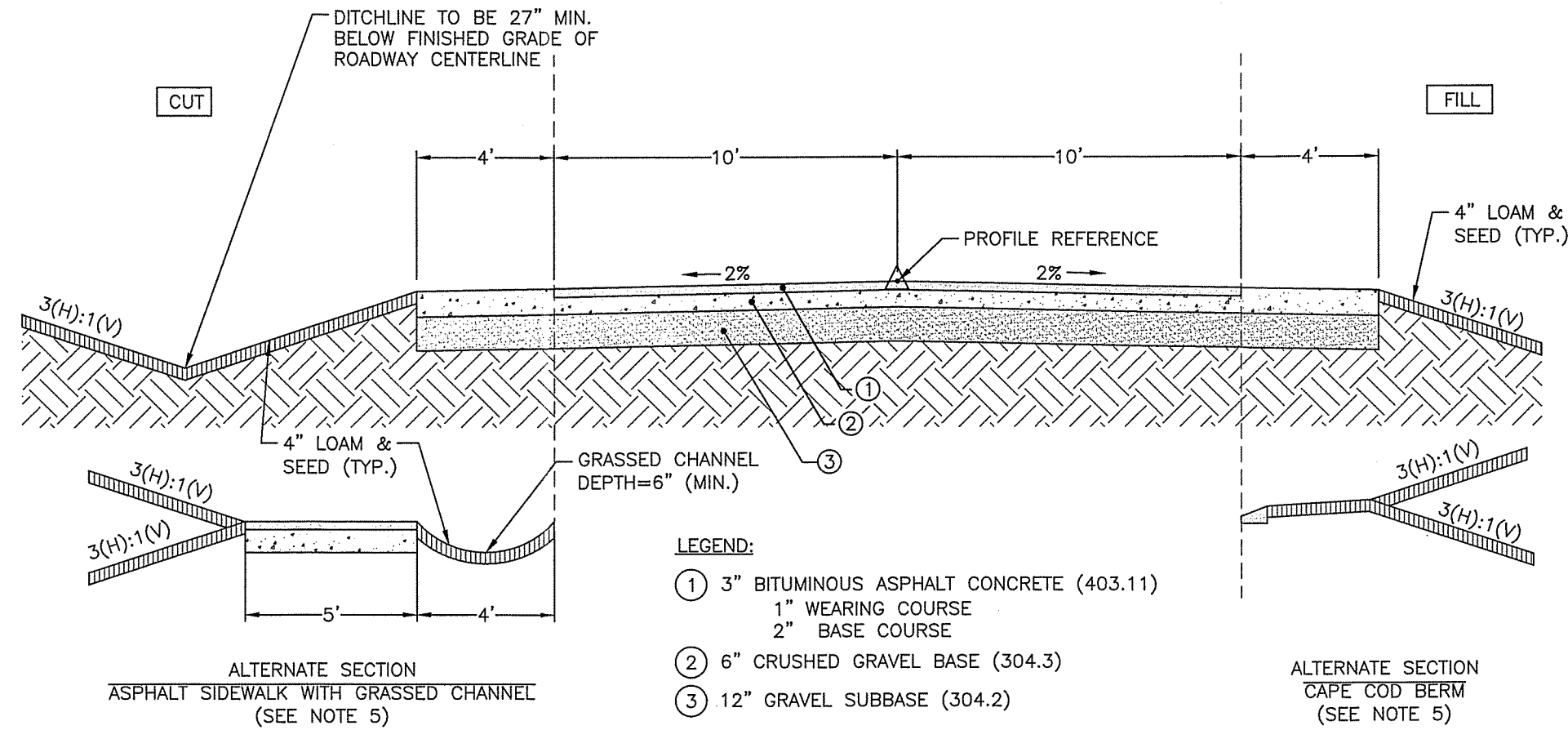


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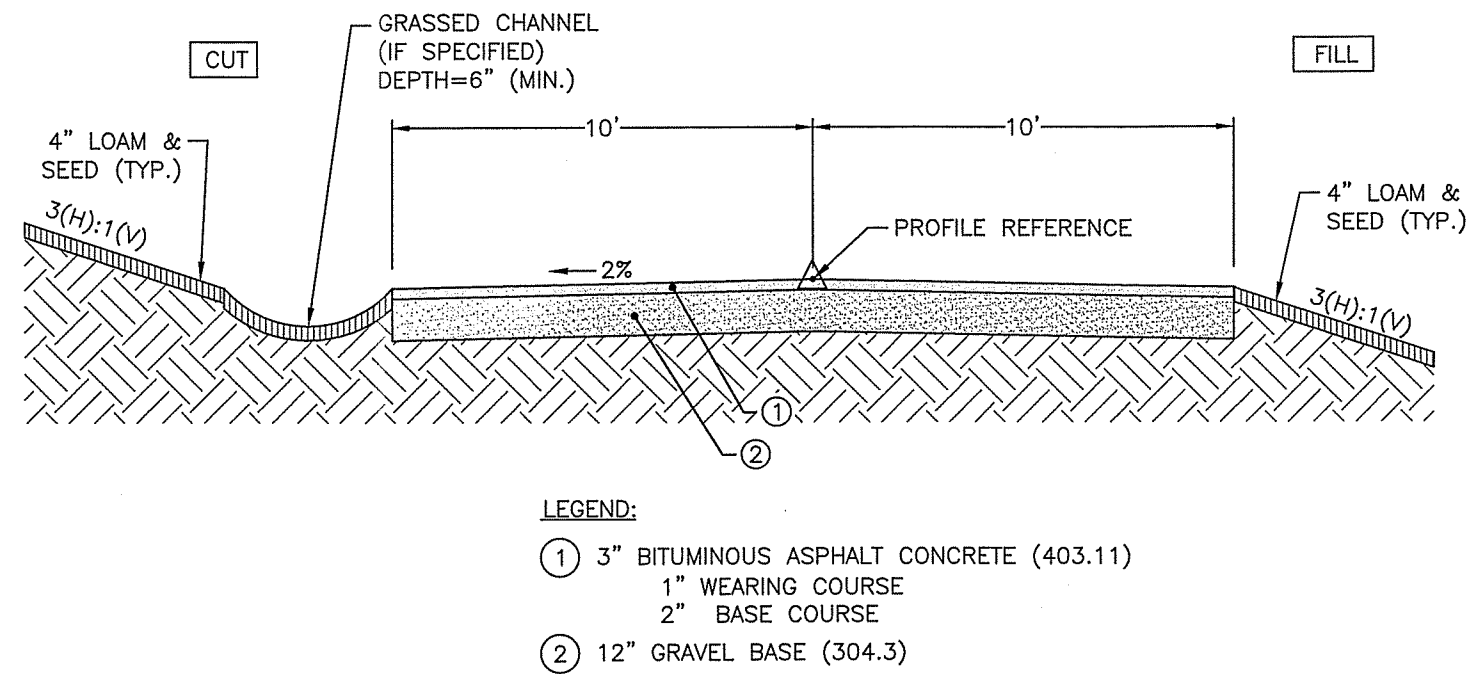
HOUSING FOR OLDER PERSONS
DEVELOPMENT
ROADWAY PROFILES

JAY CHRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

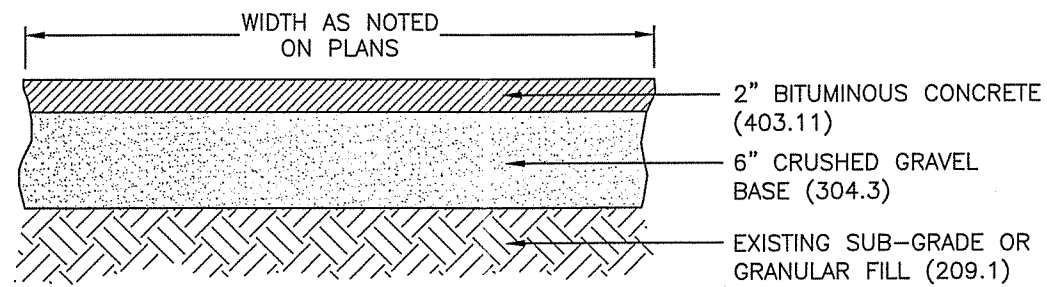
P-1
SHEET
FILE: 3077P05A.dwg
PROJECT 03077.05
SHEET NO. 8 OF 12



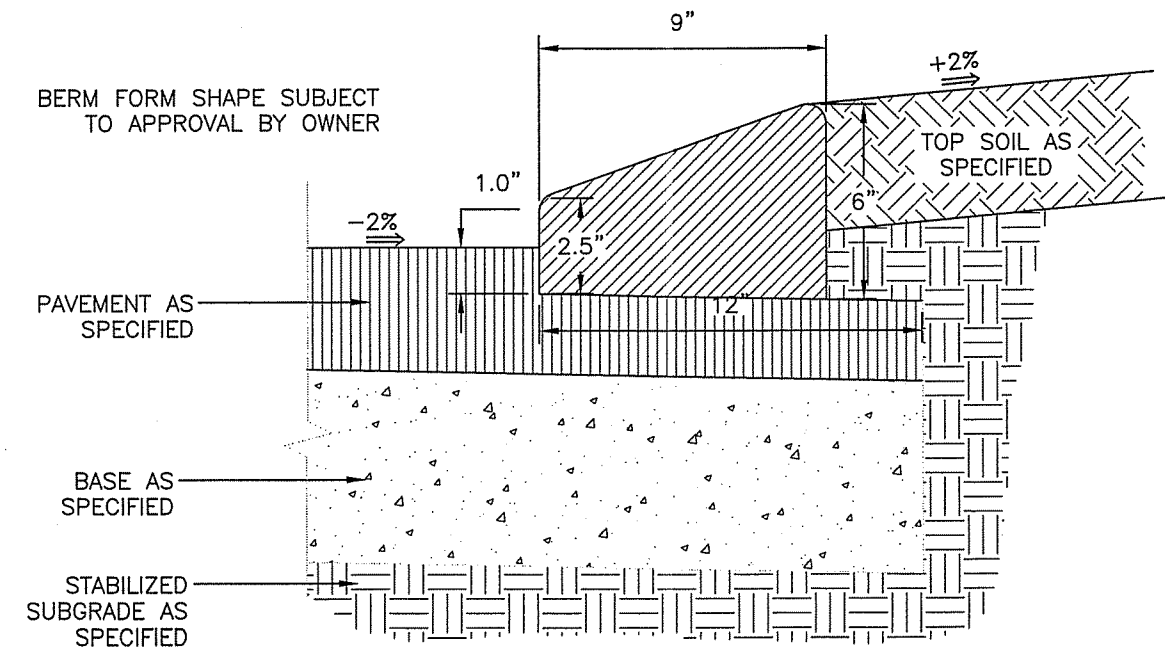
ROADWAY SECTION



COMMON DRIVEWAY SECTION

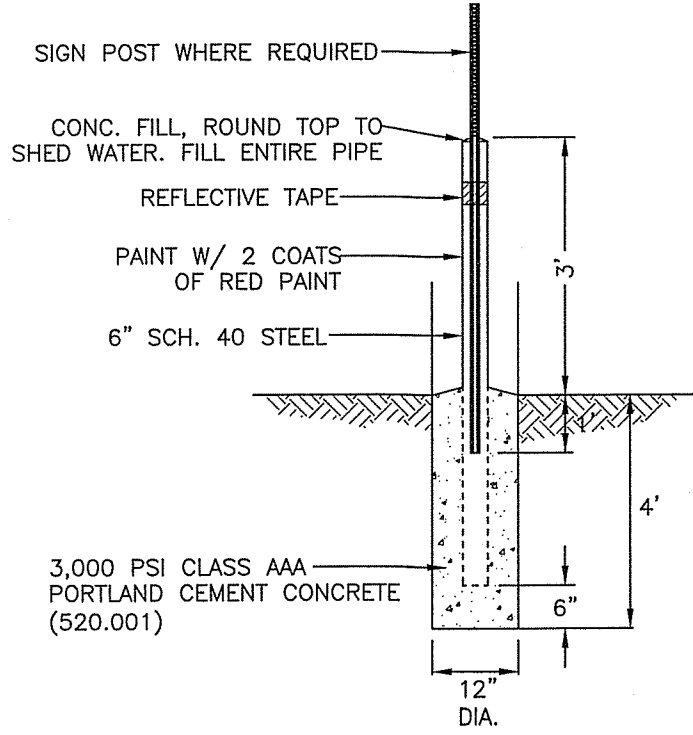


SIDEWALK - ASPHALT



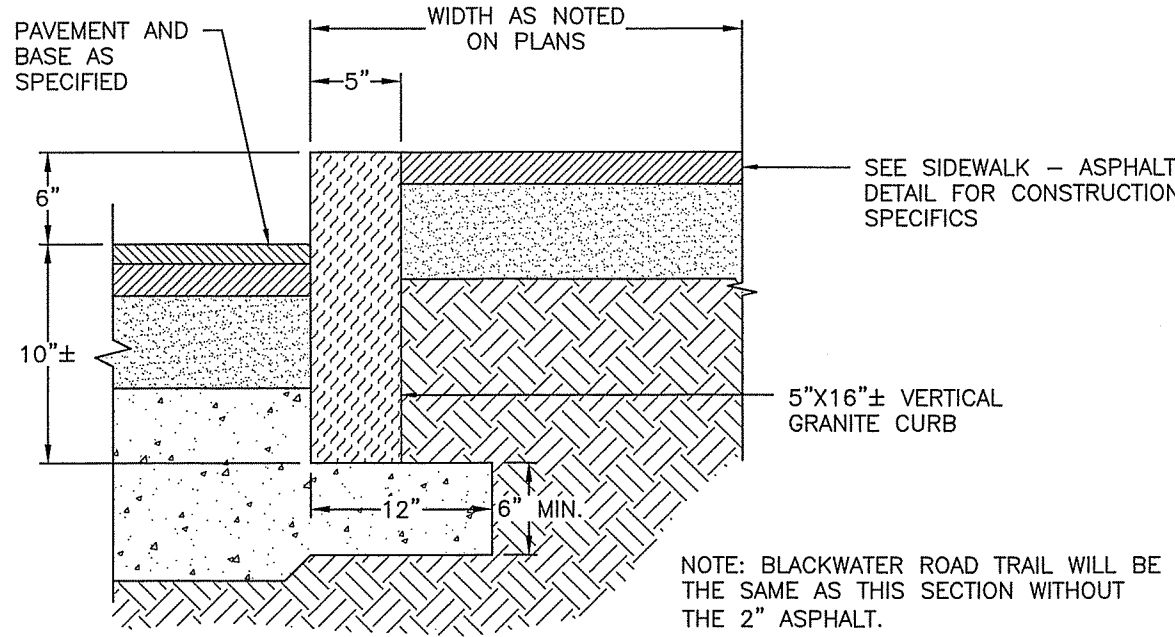
CURB - CAPE COD BERM

FINAL AESTHETIC ELEMENTS INCLUDING COLOR, HEAD STYLE, FINISHING ETC. TO BE APPROVED BY OWNER OR ARCHITECT.



BOLLARDS TO BE COVERED WITH A UV LIGHTED BOLLARD OR HARDWIRED LIGHTED BOLLARD FROM IDEALSHIELD (OR EQUAL).

FIXED BOLLARD & BASE



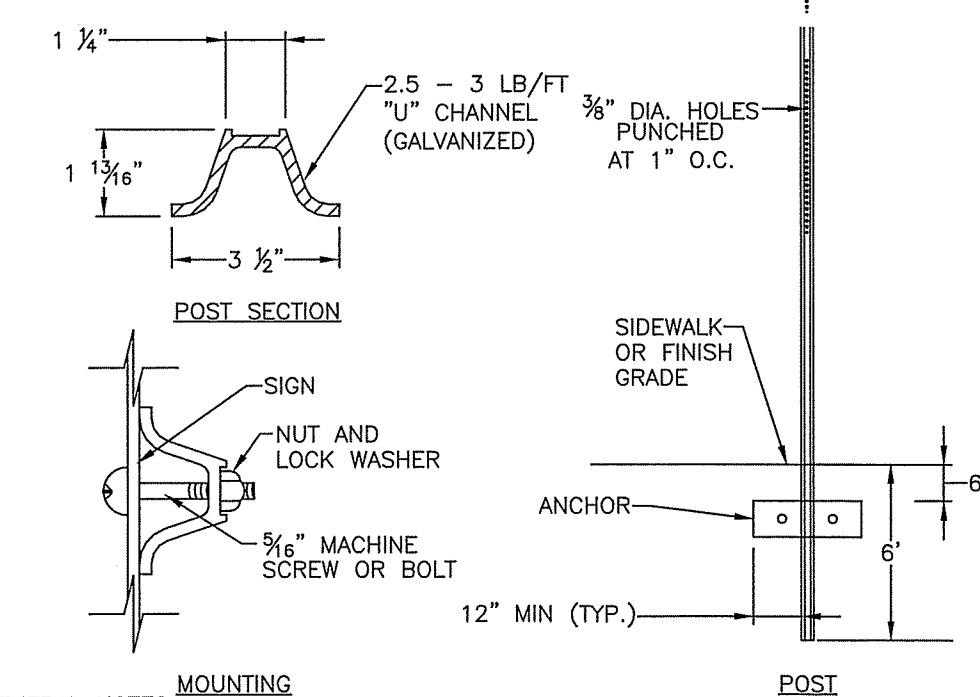
VERTICAL GRANITE CURB - ASPHALT SIDEWALK



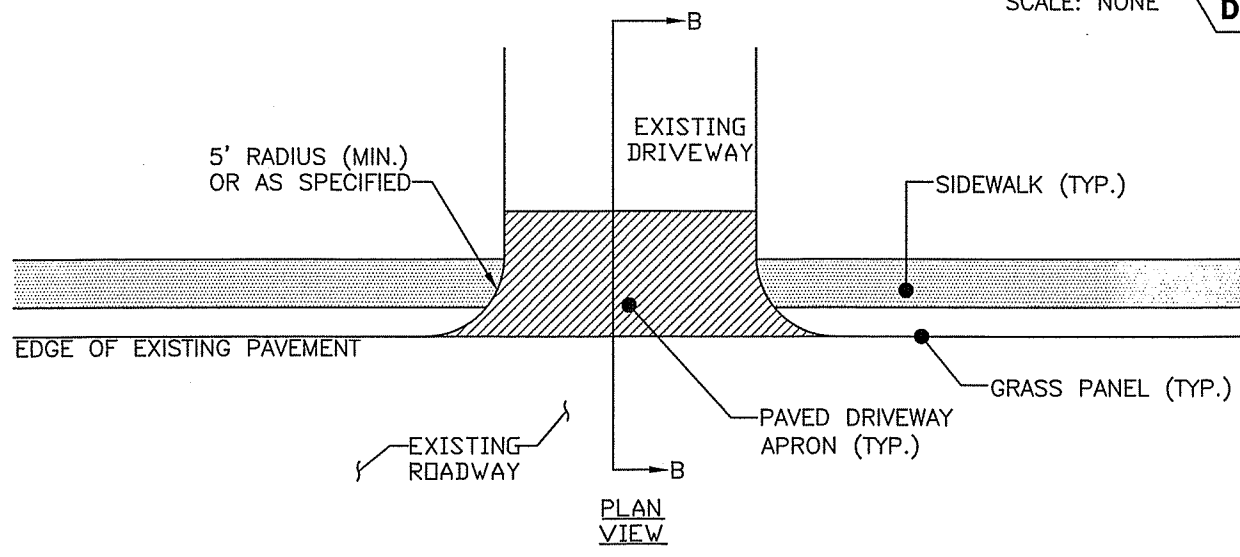
R7-8a



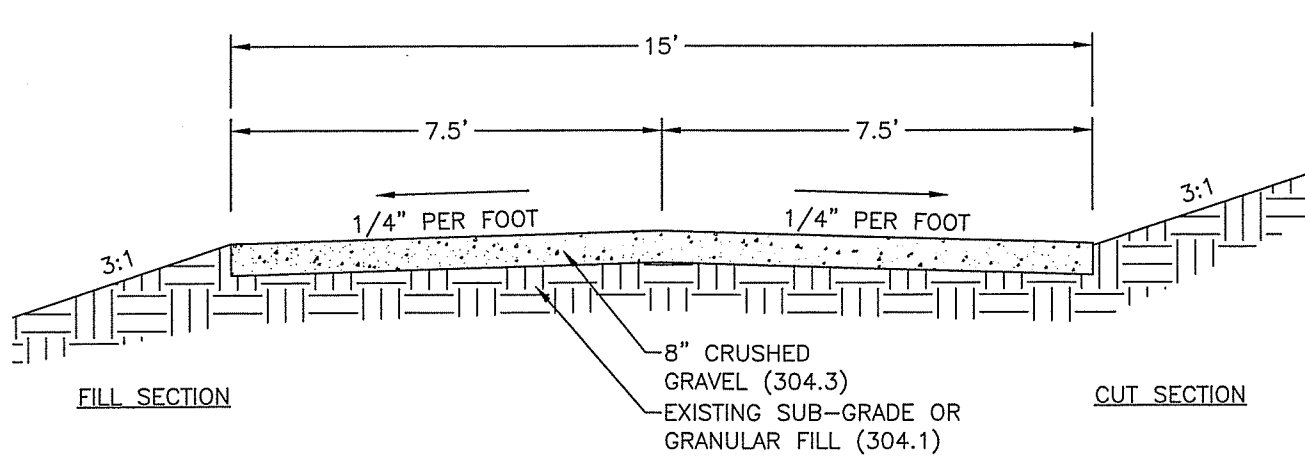
R1-1



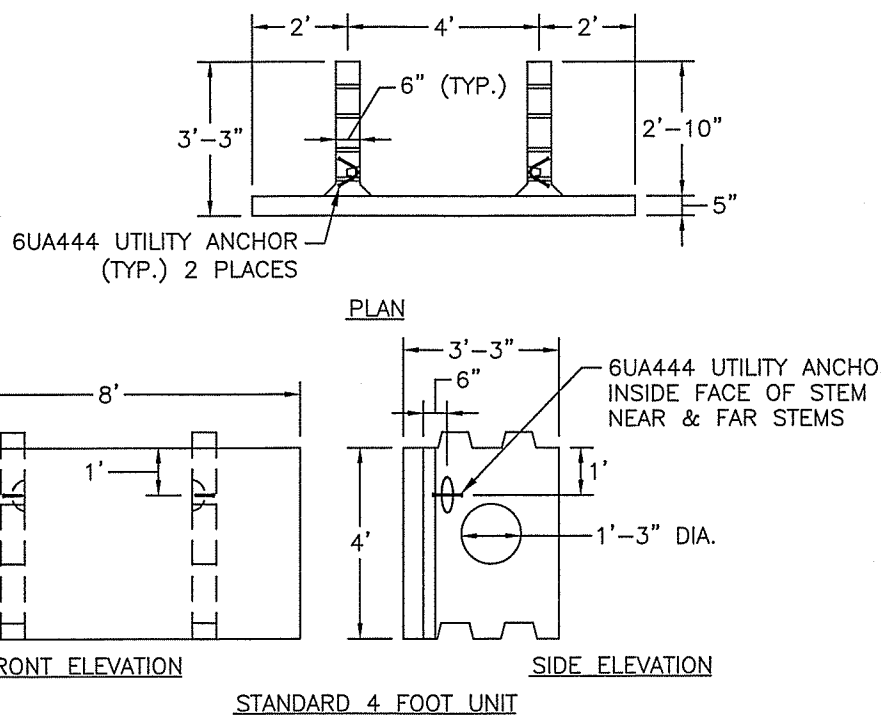
TRAFFIC SIGNS



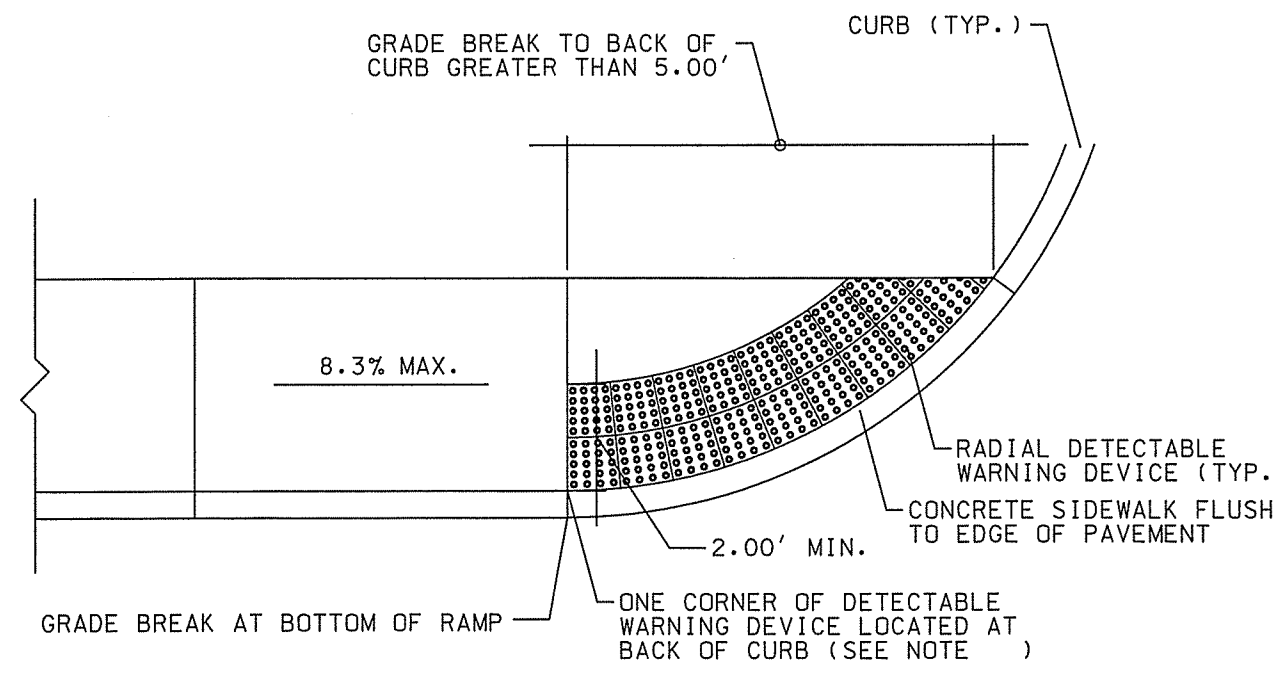
DRIVEWAY - GRASS PANEL SIDEWALK



GRAVEL ACCESS ROAD



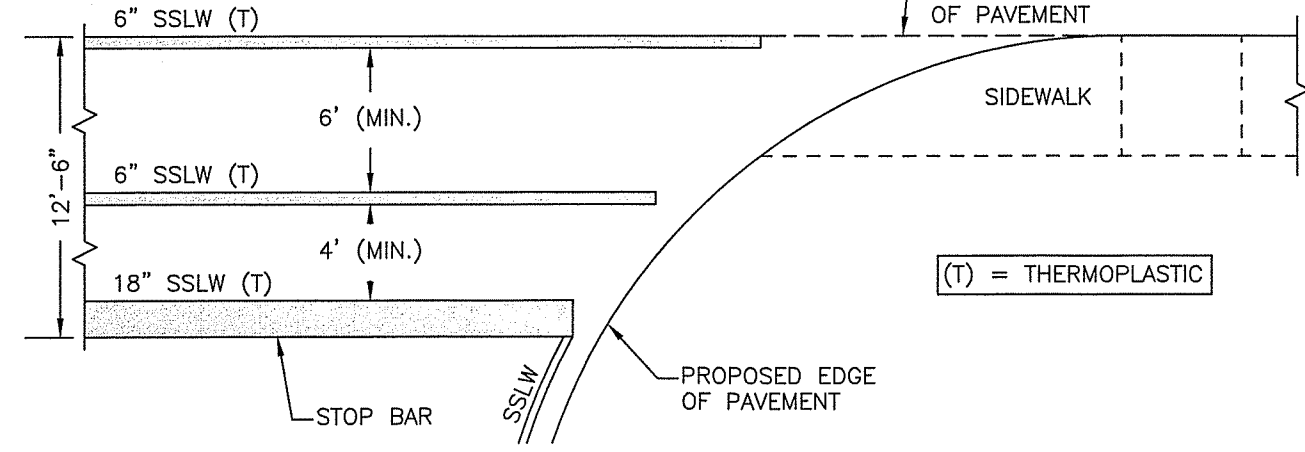
UWALL RETAINING WALL SYSTEM



NOTES:

- DETECTABLE WARNINGS SHALL BE PROVIDED WHEREVER A CURB RAMP CROSSES A VEHICULAR WAY.
- DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
- DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
- DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.
- SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2" IN WIDTH OR 6" ALONG THE ROADWAY EDGE/CURB. THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGE OF THE RADIUS.

CURB RAMP

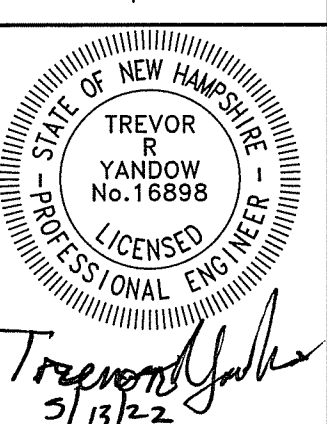
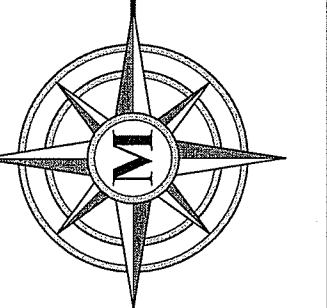


NOTES:

- ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
- PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
- ALL STOP BARS, WORDS, AND CROSSWALKS SHALL BE THERMOPLASTIC

NHDOT STANDARD CROSSWALK (CONTROLLED INTERSECTION)

SCALE: NONE
D-1

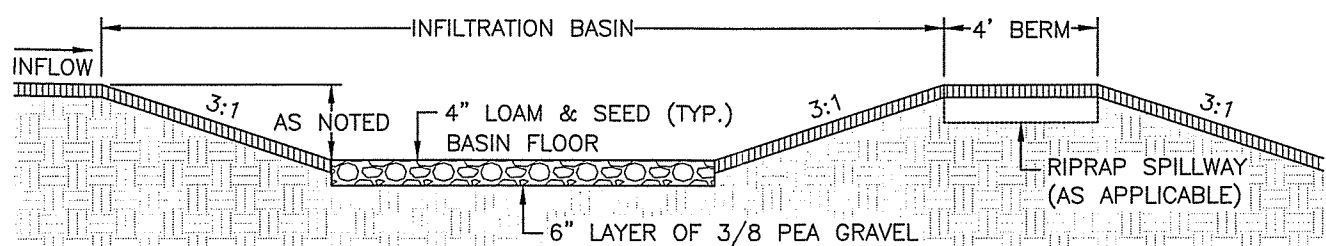


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HOUSING FOR OLDER PERSONS
DEVELOPMENT
CONSTRUCTION DETAILS

JAY CRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

Plotted: 5/13/2022 10:44 AM By: TRY
H:\MIS\03077\3077.05\Drawings\ENG\3077V05B.dwg



- NOTES:
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
 - DO NOT COMPACT THE EXCAVATION.
 - STORMWATER SHALL BE DIRECTED TO A PRETREATMENT BMP (IE. SEDIMENT FOREBAY) PRIOR TO INFILTRATION BASIN(S). DO NOT DISCHARGE RUNOFF DURING CONSTRUCTION FROM CONSTRUCTION ACTIVITIES TO INFILTRATION BASIN(S).
 - INFILTRATION BASIN(S) FLOORS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW FOLLOWED BY A PASS WITH A LEVELING DRAG.
 - VEGETATION SHALL BE ESTABLISHED IMMEDIATELY.
 - DO NOT PLACE INFILTRATION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.
 - INFILTRATION BASIN(S) SHALL BE MOWED AT LEAST TWICE ANNUALLY TO CONTROL THE GROWTH OF VEGETATION AND MAINTAIN ACCESS.
 - INFILTRATION BASIN(S) SHALL BE INSPECTED FOR DEBRIS/TRASH, SEDIMENT, EROSION, SETTLEMENT, SEEPAGE, WOODY VEGETATION OR ANY DEGRADING STABILITY CONDITION AT LEAST TWICE ANNUALLY AND/OR FOLLOWING AN RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD. ANY CONDITIONS PRESENT SHALL BE IMMEDIATELY CORRECTED.
 - INFILTRATION BASIN(S) SHALL BE INSPECTED PERIODICALLY AFTER A RAINFALL EVENT TO VERIFY THEY CAN DRAIN WITHIN 72 HOURS. UPON AN INSPECTION RESULTING IN OVER A 72 HOUR DRAIN TIME, A QUALIFIED PROFESSIONAL SHALL ASSESS THE INFILTRATION BASIN(S) AND PROVIDE MEASURES TO RESTORE THE INFILTRATION FUNCTION.
 - PRIOR TO ROUGH GRADING THE INFILTRATION AREAS, THE DEVELOPER OR THEIR CONTRACTOR SHALL COORDINATE WITH THE DESIGN ENGINEER TO VERIFY THE DEPTH TO THE WATER TABLE.

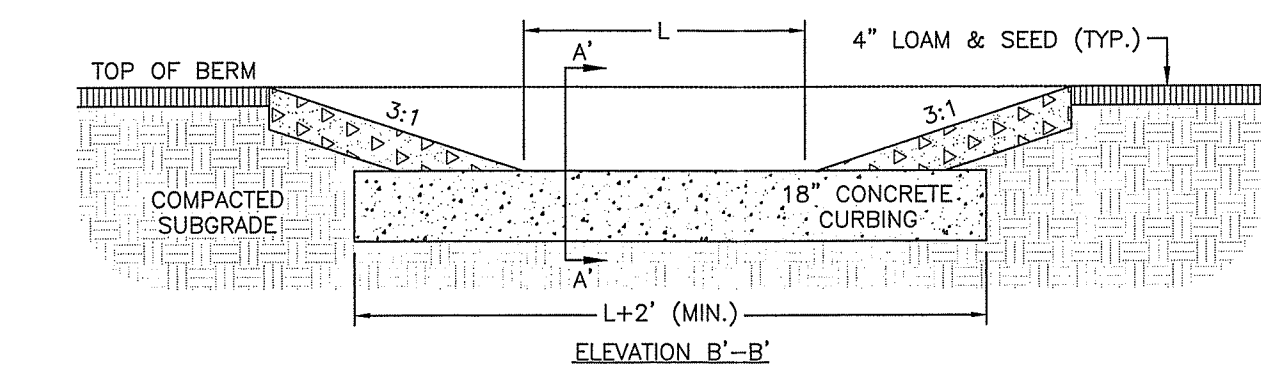
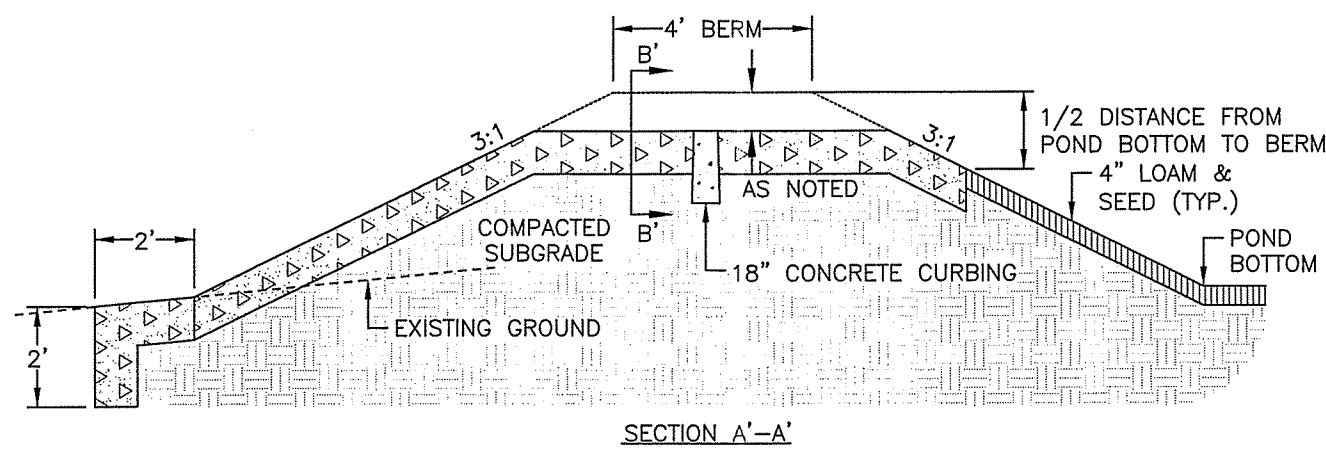
INFILTRATION BASIN - TYPICAL CROSS-SECTION

SCALE: NONE

LOCATION	L RIPRAP SPILLWAY LENGTH (FT)	BREADTH (FT)	ELEVATION
IB-A	10	4	240.00
IB-B	5	4	239.00

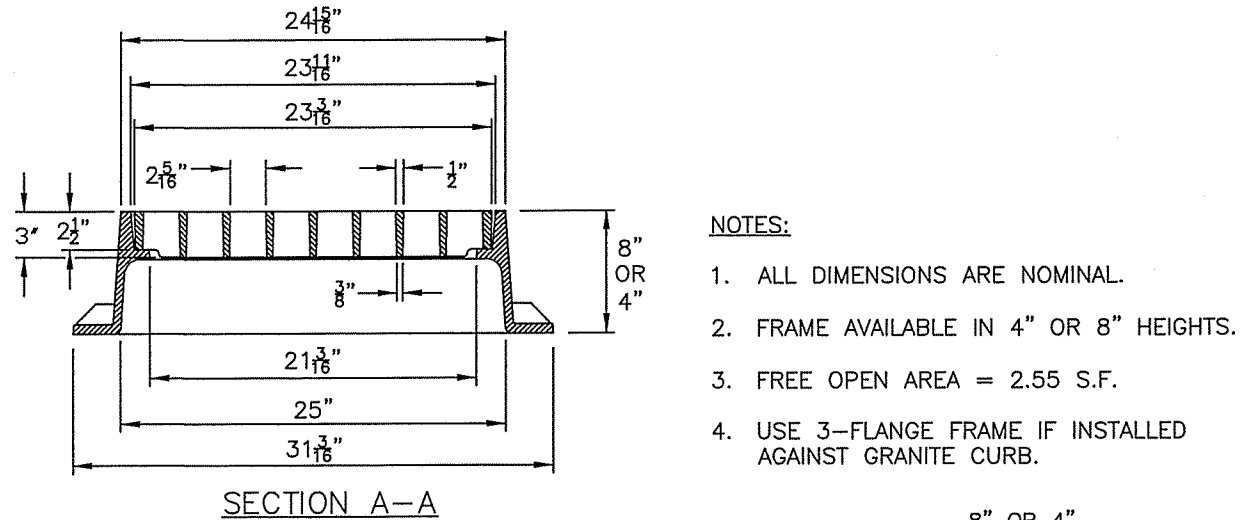
STONE FILL CLASS 'C'	
SIEVE/ DESIGNATION	% PASSING/ BY WEIGHT
12 IN.	100
6 IN.	84-100
3 IN.	68-83
1 IN.	42-55
#4	8-12

NHDOT ITEM 585.3



RIPRAP SPILLWAY

SCALE: NONE

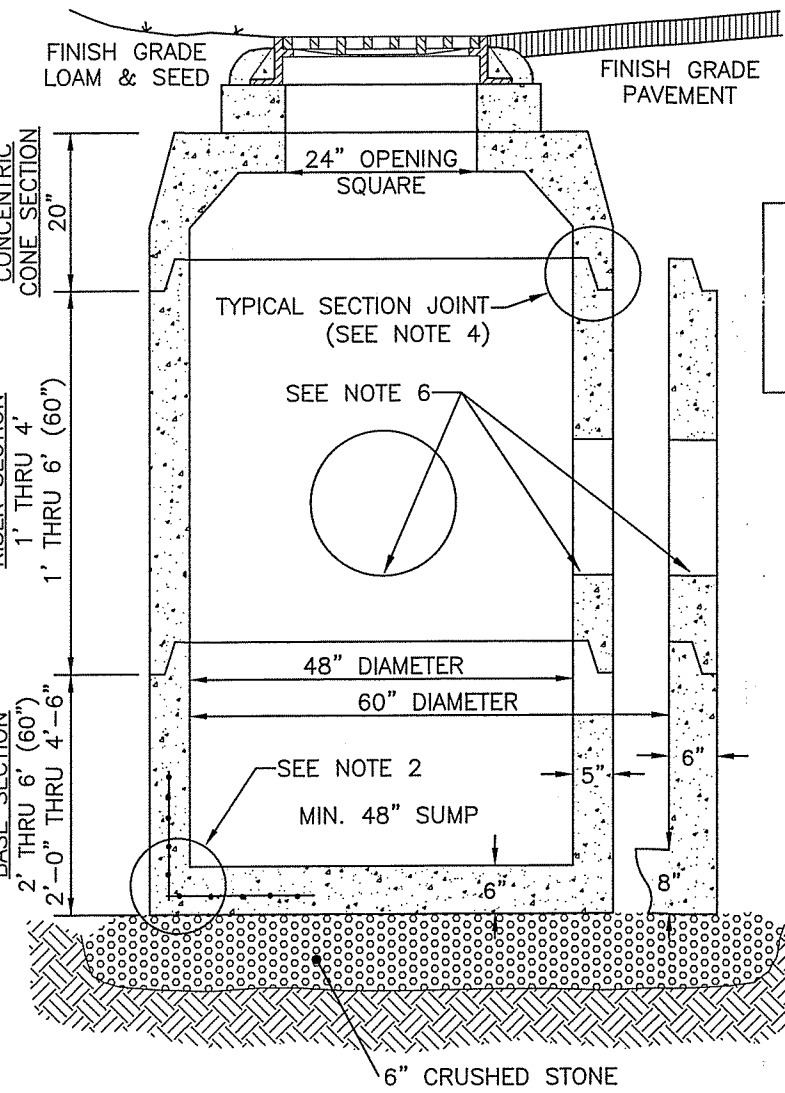
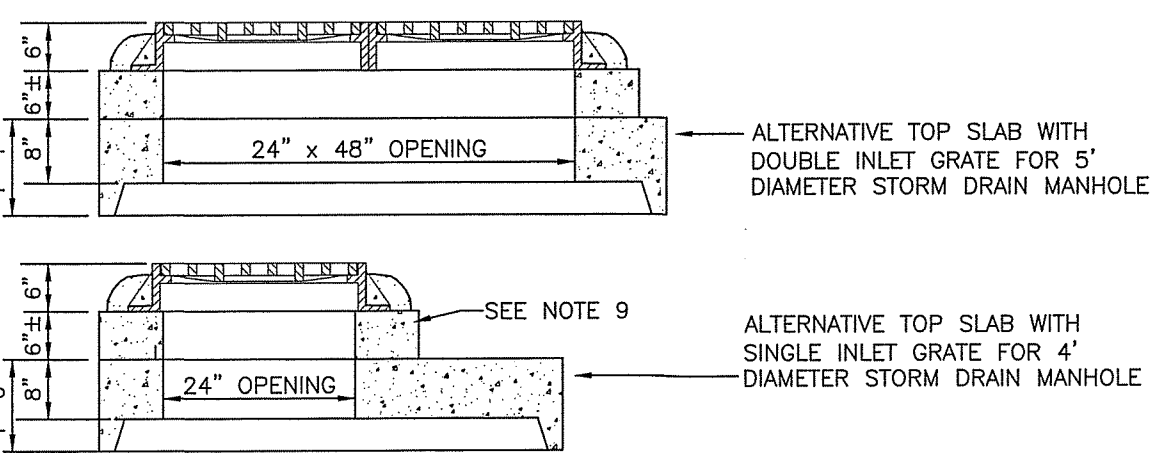


NOTES:

- ALL DIMENSIONS ARE NOMINAL.
- FRAME AVAILABLE IN 4" OR 8" HEIGHTS.
- FREE OPEN AREA = 2.55 S.F.
- USE 3-FLANGE FRAME IF INSTALLED AGAINST GRANITE CURB.

CATCH BASIN/DRYWELL FRAME & GRATE (TYPE B)

SCALE: NONE

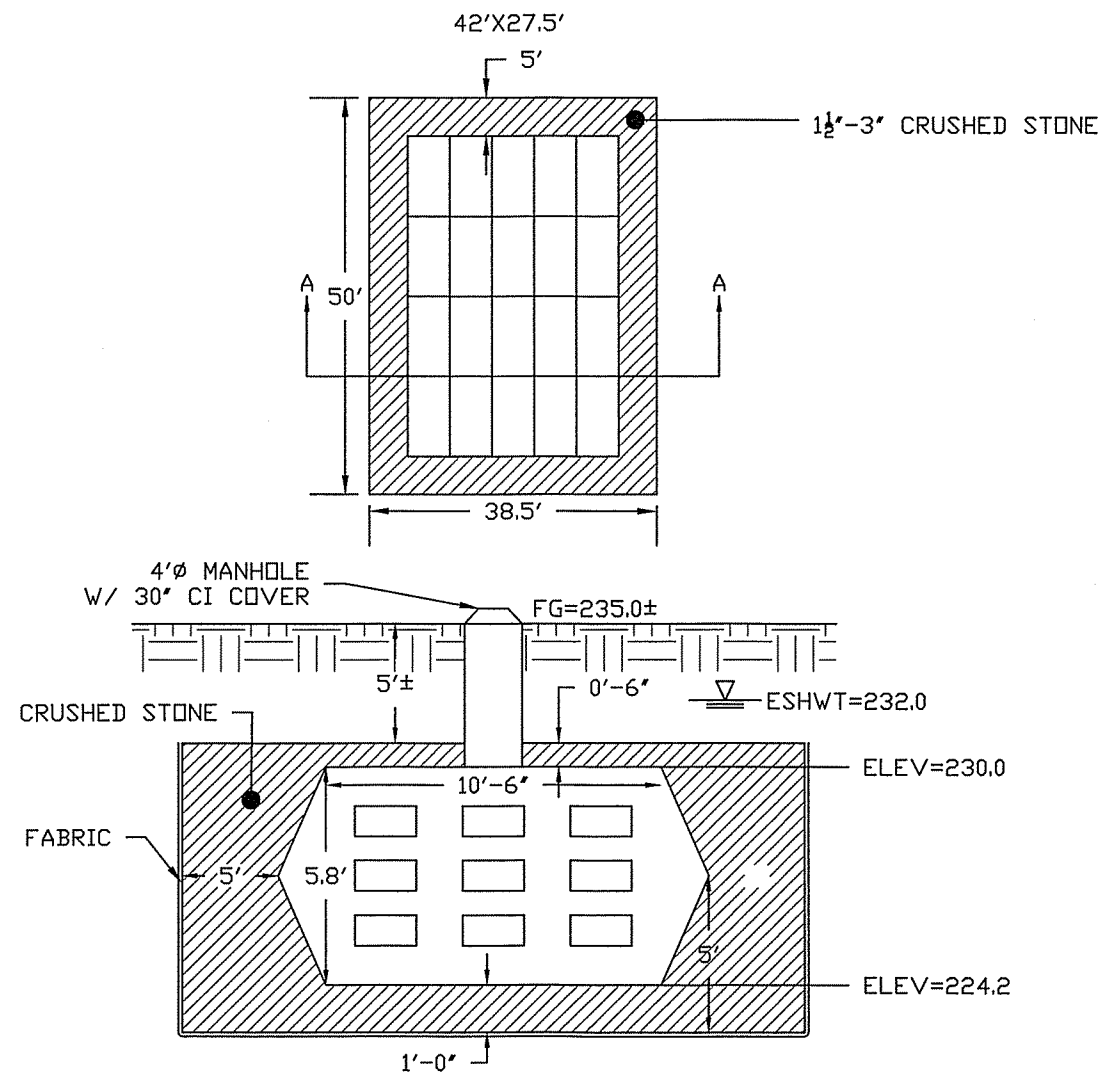


NOTES:

- STORM DRAIN MANHOLE SHALL BE SUPPLIED BY CONCRETE SYSTEMS, INC., HUDSON, NH OR EQUAL.
- REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ. IN./LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
- CONCRETE COMPRESSIVE STRENGTH - 4000 PSI MINIMUM.
- TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. SS-S-210A.
- MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
- ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
- ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING.
- INLET GRATE AND FRAME IS TO BE NEENAH MODEL R-3405 FOR SINGLE GRATE AND MODEL R-3405-A FOR A DOUBLE GRATE STRUCTURE, OR EQUAL.
- INLET FRAME IS TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT. SEALED IN PLACE WITH NON SHRINK GROUT.
- STORM DRAIN MANHOLE IS TO BE SET ON 6" OF 3/4" STONE BEDDING.
- THE 48" DIAMETER STORM DRAIN MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS.
- THE 60" DIAMETER STORM DRAIN SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.

STORMSEWER CATCH BASIN (CB)

SCALE: NONE



CISTERN SCHEMATIC

SCALE: NONE

- Notes
- Concrete strength f'c 4000PSI @ 28 days. Density 150 PCF.
 - Cement, Portland Type II or III, ASTM C150-81
 - Admixtures, air & plasticizers per ASTM C233-82
 - Reinforcement per ASTM C1227-latest revision
 - Heavy-duty is 2" higher due to increased top thickness - 6" TOP.
- P.O. Box #530, 97 Adams Hill Rd., Greenfield, NH 03049
603-878-1340 MA 800-937-3438 NH 800-878-0514 Fax: 603-878-3349

LAMARRE CONCRETE 1500 GALLON JUMBO DRYWELL

SCALE: NONE

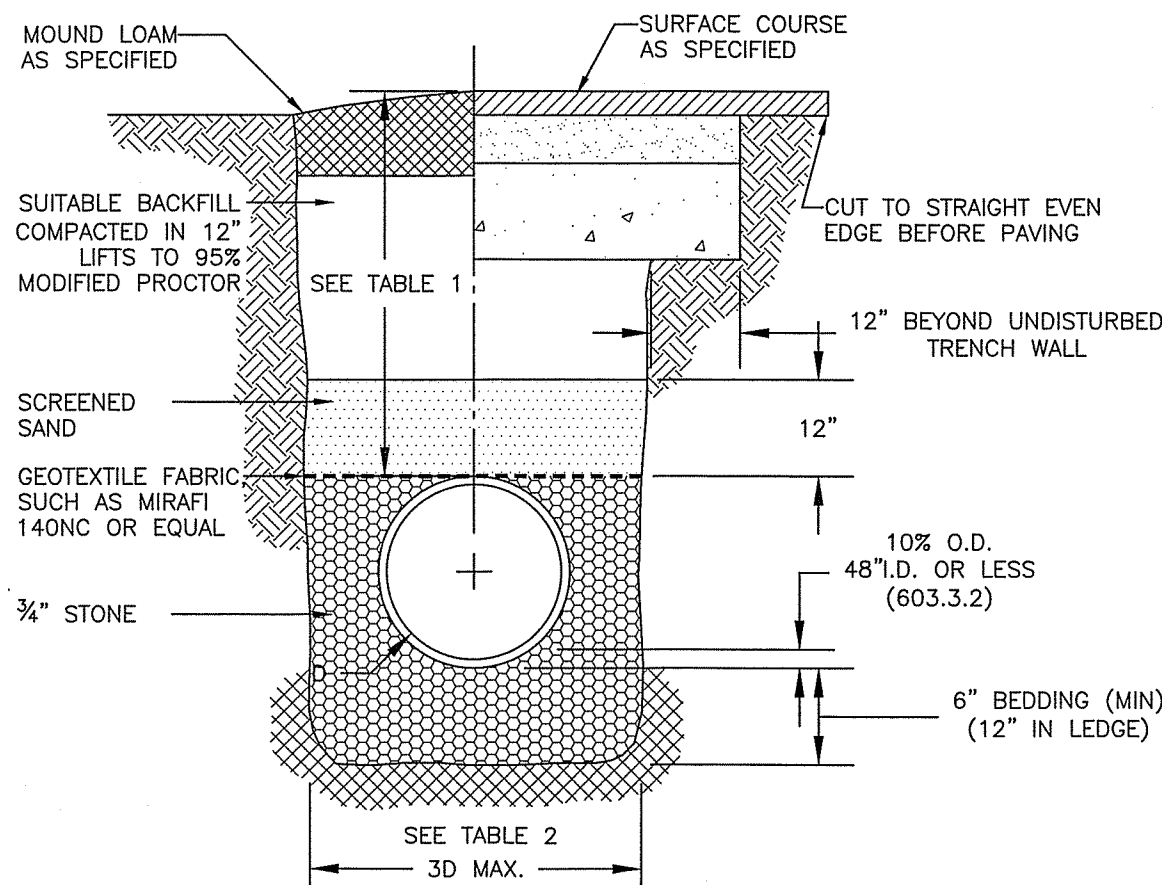


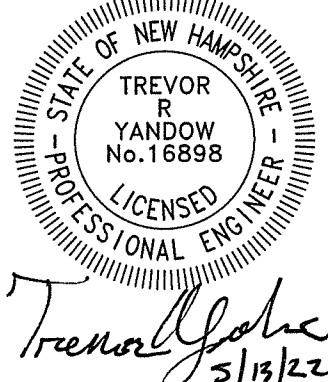
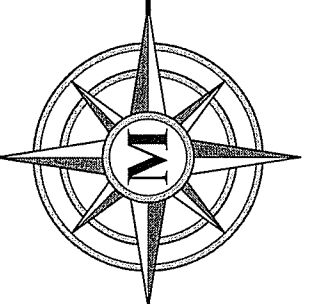
TABLE 1			TABLE 2 (206.4.1.2)	
LOCATION	PIPE MATERIAL	MINIMUM COVER	INSIDE DIAMETER	TOTAL WIDTH
PAVED ROADS	ALL	3 FT.	12" TO 24"	I.D. + 24"
UNPAVED ROADS	ALL	3 FT.	OVER 24"	2 x I.D.
DRIVEWAYS	ALL	1 FT.		
UNPAVED AREAS	ALL	2 FT.		

TYPICAL DRAINAGE PIPE TRENCH

(NHDOT ITEM NO.)

SEPT 30, 2002

SCALE: NONE



Trevor Yandow
3/13/22

REV	DATE	DESCRIPTION	BY	CHK
1	5/13/22	TOWN PB SUBMISSION	TRY	CK

HOUSING FOR OLDER PERSONS
DEVELOPMENT

DRAINAGE DETAILS

FEBRUARY 10, 2022

JAY CHRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

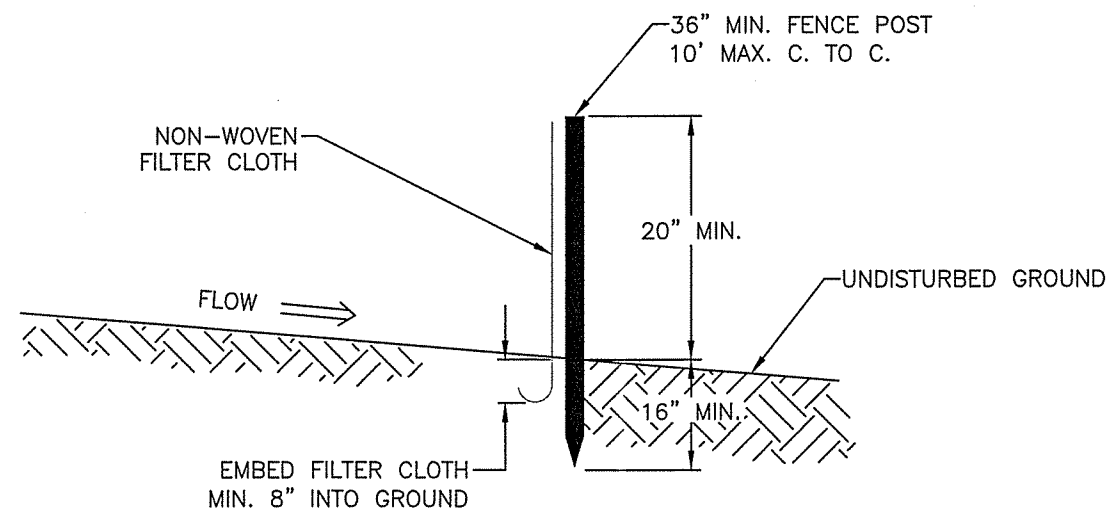
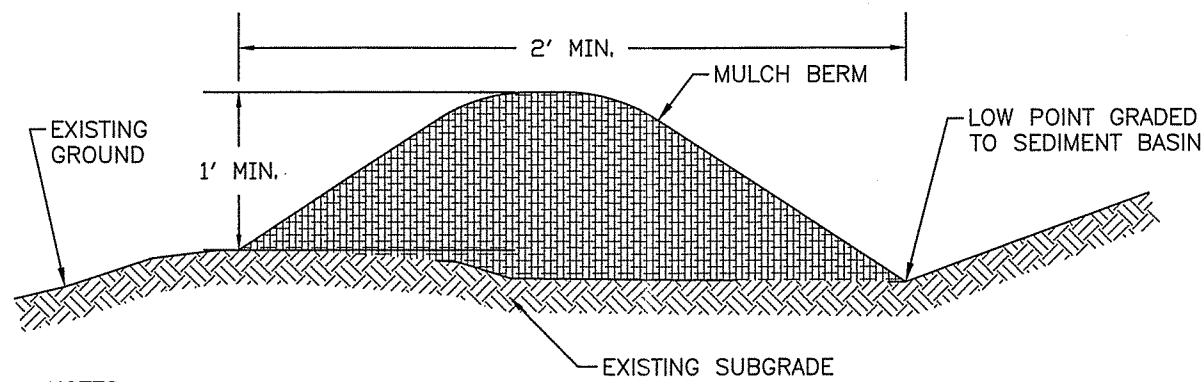
SCALE: NONE

D-2
SHEET

FILE: 3077V05B.dwg
PROJECT 03077.05
SHEET NO. 10 OF 12

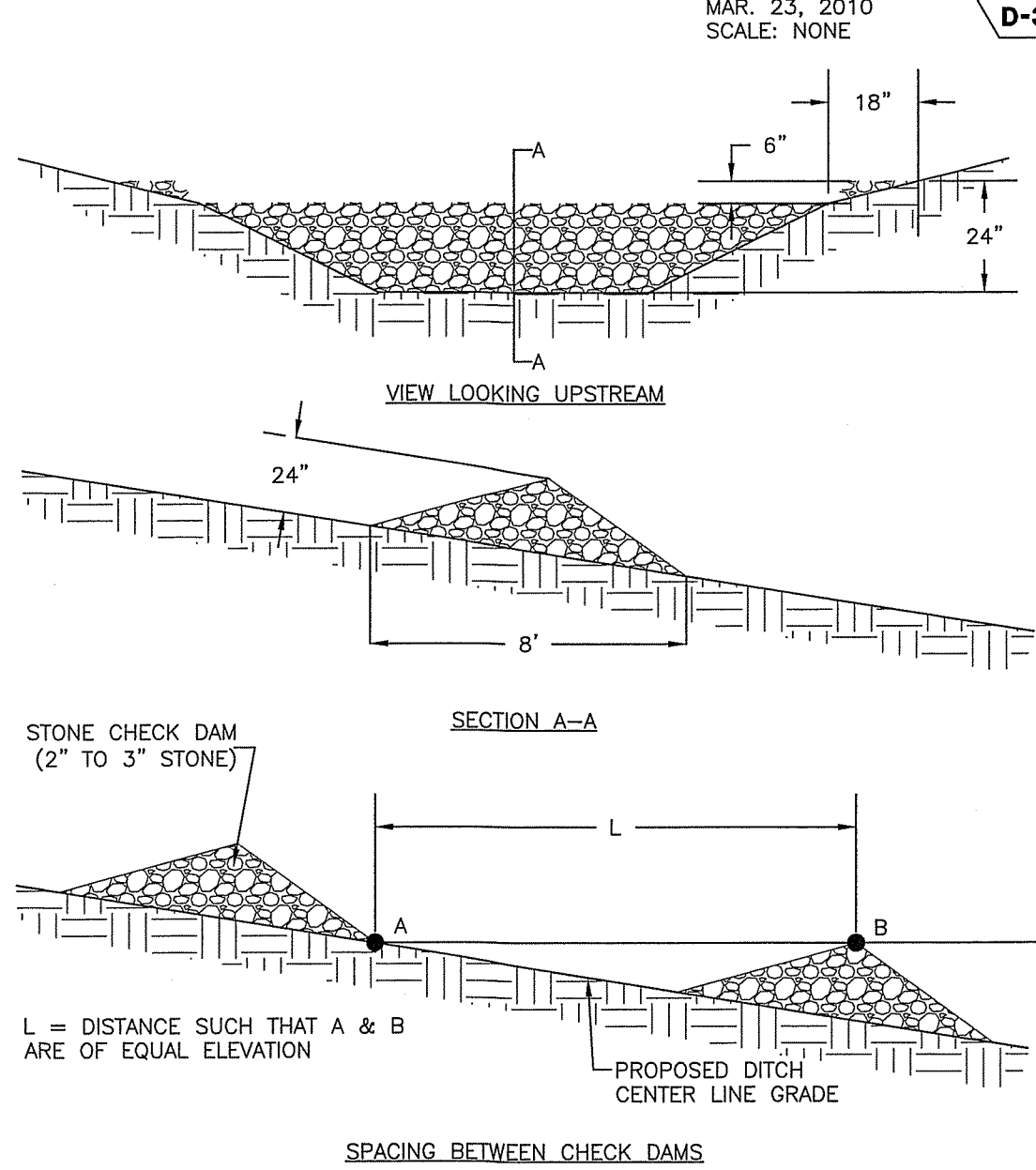
11. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.
-
- The diagram illustrates the installation of turf reinforcement mats. It shows a roll of mat being unrolled (4) and secured with a pin (5). The mat is then covered with soil (6). A cross-section shows the mat being covered with soil (7) and a final view of the installed mat (8).

SCALE: NONE **D-3**

SCALE: NONE **D-3** /

- ### TYPICAL MULCH BERM

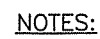
AUG. 29, 2016
SCALE: NONE



JULY 17, 2017

- | SPECIES | RATE 1
(LBS/AC.) | RATE 2
(LBS/1,000 S.F.) | REMARKS |
|-----------------------|---------------------|----------------------------|---|
| WINTER RYE | 112 | 2.5 | FALL, 8/15 TO 9/15
PLANT 1.0 INCH DEEP |
| OATS | 80 | 2.0 | SPRING PRIOR TO 5/15
PLANT 1.0 INCH DEEP |
| ANNUAL
RYEGRASS | 40 | 1.0 | QUICK, SHORT DURATION
GOOD APPEARANCE
EARLY SPRING & FALL
PLANT 0.25 INCH DEEP |
| PERENNIAL
RYEGRASS | 30 | 0.7 | LASTS LONGER THAN ANNUAL
LATE SPRING & FALL
MULCHING WILL ALLOW US
PLANT 0.5 INCH DEEP |

SCALE: NONE **D-3**



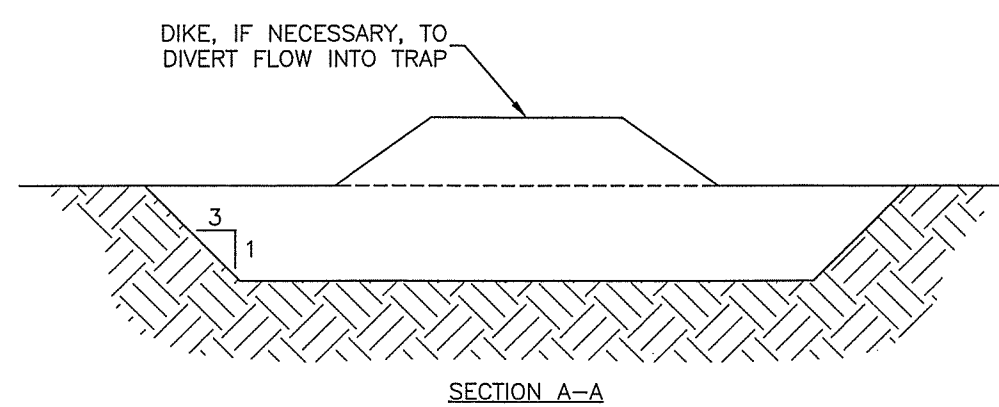
- ## **STABILIZED CONSTRUCTION EXIT**

SCALE: NONE **D-3**

1. ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, OTHERWISE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

SCALE: NONE **D-3**

-
- Diagram illustrating the isometric view of a drainage trap. The trap is shown with a dike, if necessary, to divert flow into the trap. The flow direction is indicated by arrows labeled "FLOW". The trap is labeled "A" at two points. The formula for crest length is given as: $\text{CREST LENGTH (FT)} = 6 \times \text{DRAINAGE AREA (AC.)}$. The diagram is labeled "ISOMETRIC VIEW" at the bottom.



- NOTES:

1. SEDIMENT TRAPS SHOULD BE LOCATED SO THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
2. THE TRAP SHOULD BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
3. THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHOULD BE LESS THAN 5 ACRES.
4. THE MINIMUM VOLUME OF THE TRAP SHOULD BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
5. THE SIDE SLOPES OF THE TRAP SHOULD BE 3:1 OR FLATTER, AND SHOULD BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. THE MINIMUM LENGTH-TO-WIDTH RATIO OF THE TRAP SHOULD BE 2:1 (L:W).
7. FOR CONCENTRATED FLOW ENTERING THE TRAP, ENERGY DISSIPATION AT THE POINT OF INFLOW SHOULD BE PROVIDED.
8. THE OUTLET PIPE SHOULD EXTEND THROUGH THE EMBANKMENT AT A MINIMUM SLOPE OF 0.5 PERCENT.
9. REFER TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3: CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008 FOR COMPLETE INFORMATION.

INSTALLATION NOTES:

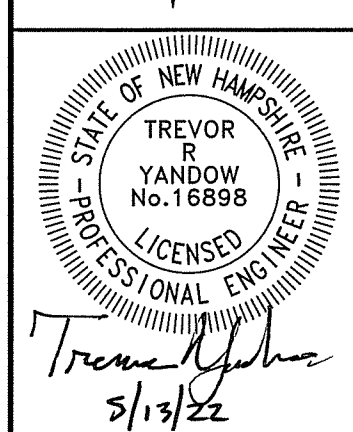
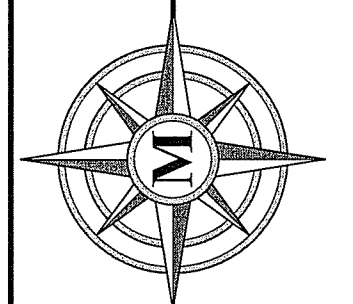
1. BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
2. TRAP SHOULD BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASIN FOR STORMWATER CONTROL.
3. EMBANKMENT MATERIAL SHOULD CONSIST OF DEBRIS FREE SOIL, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT PASSING THE NO. 200 SIEVE.
4. EMBANKMENT SHALL BE COMPACTED TO AT MINIMUM 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
5. PIPE SCH 40 OR GREATER SHOULD BE USED.

MAINTENANCE NOTES:

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATION CONDITION. MAINTENANCE SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs WITHIN 24 HOURS OF A STORM CAUSING SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. REPAIR OR REPLACE BMPs UPON FAILURE.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.
5. THE TRAP IS TO REMAIN IN PLACE UNTIL THE DISTURBED AREA HAS BEEN STABILIZED AND GRASS COVER IS ACCEPTED BY LOCAL JURISDICTION.

OCTOBER 22, 2018 **D-3**

MERIDIAN
LAND SERVICES, INC.
ENGINEERING | SURVEYING | PERMITTING
SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03091 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1584



REV	DATE	DESCRIPTION	BY	CHK
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92	10/10/22			

HOUSING FOR OLDER PERSONS
DEVELOPMENT
EROSION & SEDIMENTATION
CONTROL DETAILS

FEBRUARY 10, 2022

JAY CHRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

SCALE: NONE

D-3
SHEET

FILE:	30777V05B.dwg
PROJECT	03077.05
SHEET NO.	11 OF 12



PAGE: 1 TITLE: JW & RA Chrystal Rev. Trust 1999
FILE: 3077.05 TOWN: Brookline

WATER: none S.H.W.: 48" ROOTS: 40"
LEDGE: none HARDPAN: none
PERCOLATION RATE: 2 MIN./IN. AT 32" DEPTH
DATE: 7-6-21
INSPECTED BY: T.E.C. WITNESSED BY:



PAGE: 2 TITLE: JW & RA Chrystal Rev. Trust 1995
FILE: 3077.05 TOWN: Brookline

WATER:	S.H.W.:	ROOTS:
LEDGE:	HARDPAN:	
PERCOLATION RATE:	MIN./IN. AT	DEPTH
DATE:		
INSPECTED BY: T.E.C.		WITNESSED BY:



PAGE: 1 TITLE: JW & RA Chrystal Rev. Tr. 8-5-2
FILE: 3077.05 TOWN: Brookline

WATER:	S.H.W.:	ROOTS:
LEDGE:	HARDPAN:	
PERCOLATION RATE:	MIN./IN. AT	DEPTH
DATE:		
INSPECTED BY: T.E.C.		WITNESSED BY:

JAY CRYSTAL
23 MAIN STREET
TAX MAP H PARCEL 42
BROOKLINE, NEW HAMPSHIRE

D-4	
SHEET	
FILE:	30777V05B.dwg
PROJECT	03077.05
SHEET NO. 12 OF 12	