

# COMMUNITY AT VILLAGE BROOK

PREPARED FOR:

JAY CHRYSTAL

TAX MAP H PARCEL 42

23 MAIN STREET

BROOKLINE, NEW HAMPSHIRE

REVISED JULY 6, 2022

## MUNICIPAL CONTACTS:

### TOWN PLANNER

MICHELE DECOTEAU  
1 MAIN STREET  
BROOKLINE, NH 03033  
(603) 673-8855 x215

### FIRE DEPARTMENT

CHARLIE COREY, CHIEF  
4 BOND STREET  
PO BOX 660  
BROOKLINE, NH 03033  
(603) 672-8531 (NON EMERGENCY)

### POLICE DEPARTMENT

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3 POST OFFICE DRIVE  
PO BOX 341  
BROOKLINE, NH 03033  
(603) 673-3755 (NON-EMERGENCY)

### BUILDING INSPECTOR

STEVE SACHERSKI  
1 MAIN STREET  
BROOKLINE, NH 03033  
(603) 673-8855 x212

## PROFESSIONAL CONTACTS:

### CIVIL ENGINEER

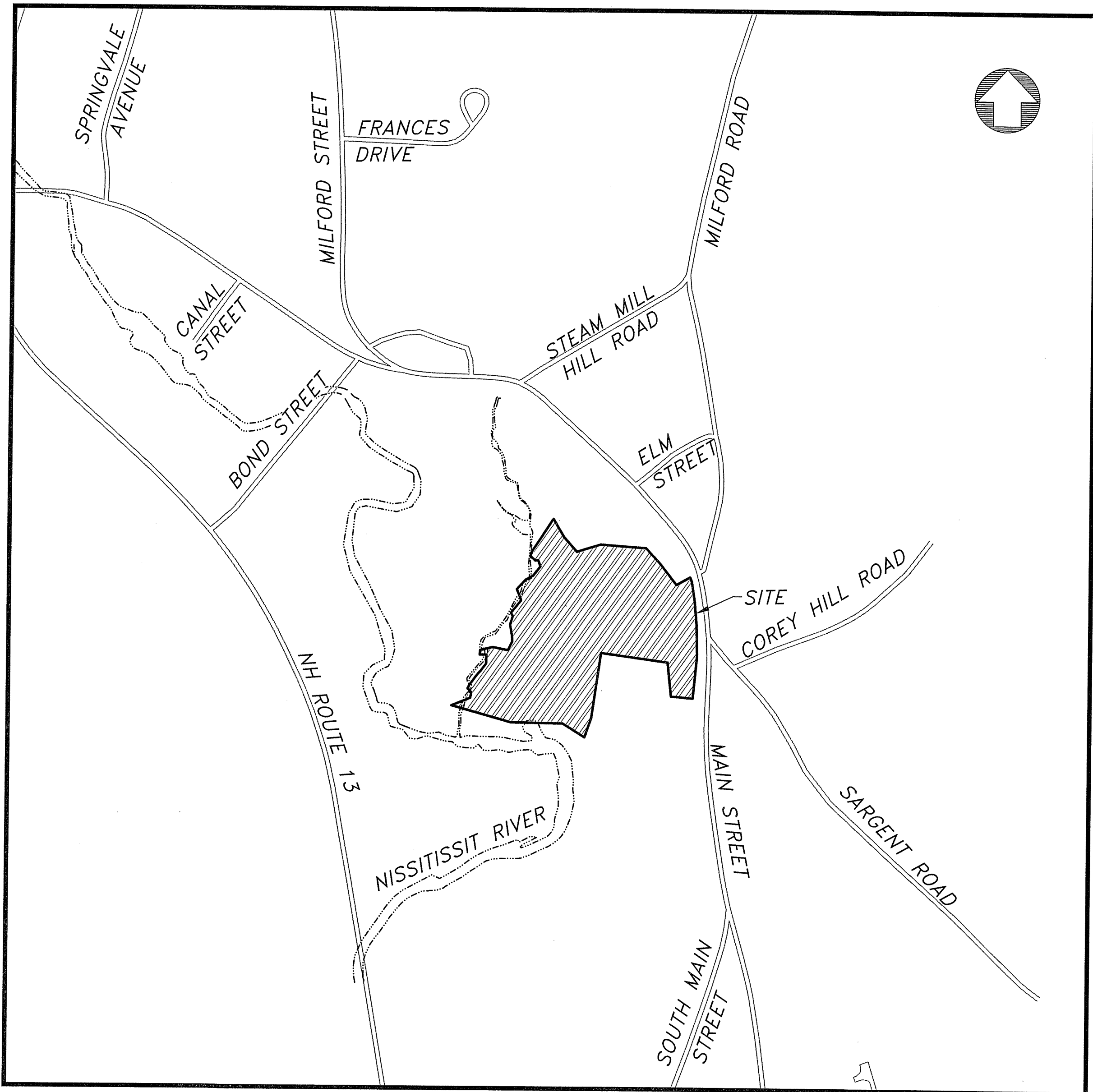
DOUGLAS V BRODEUR, PE  
MERIDIAN LAND SERVICES, INC.  
PO BOX 118  
MILFORD, NH 03055  
(603) 673-1441

### LAND SURVEYOR

RANDOLPH A HAIGHT, LLS  
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(603) 673-1441

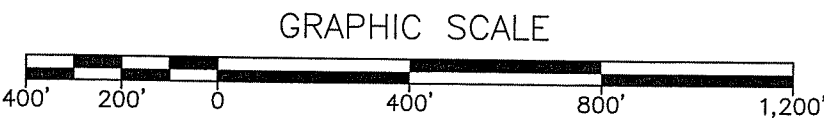
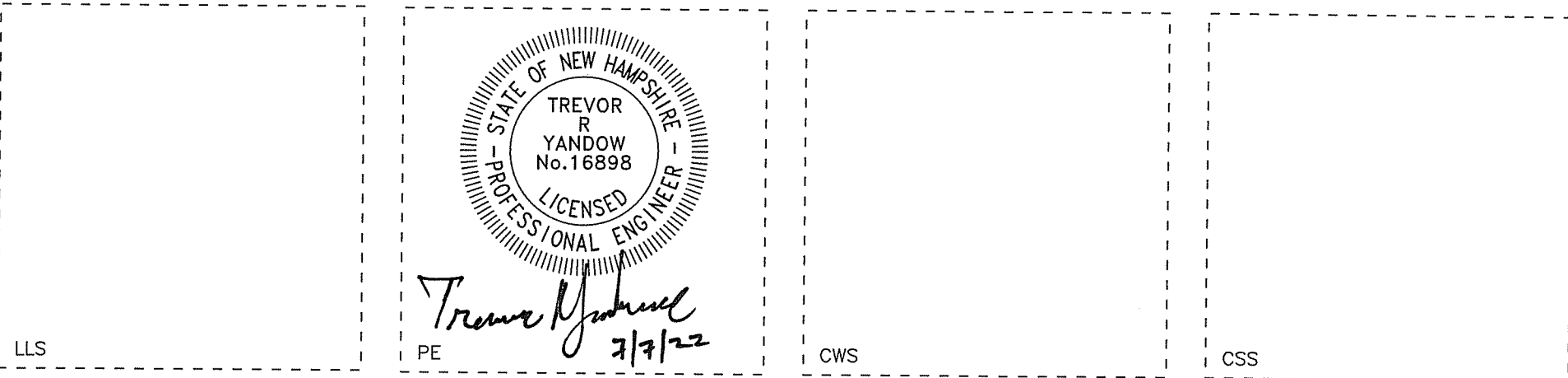
### WETLAND & SOIL SCIENTIST

THOMAS C CARR, CWS/CSS  
MERIDIAN LAND SERVICES, INC.  
PO BOX 118  
MILFORD, NH 03055  
(603) 673-1441



SCALE 1=400'

## MERIDIAN DESIGN PROFESSIONALS:



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## PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

- A. BROOKLINE ZONING BOARD OF ADJUSTMENT VARIANCE APPROVAL (CASE 439A).
- B. BROOKLINE PLANNING BOARD NON-RESIDENTIAL SITE PLAN (NRSP), PENDING.
- C. NHDES ALTERATION OF TERRAIN PERMIT, PENDING.
- D. NHDES CONSTRUCTION APPROVAL (SEPTIC), PENDING.
- E. NHDOT DRIVEWAY PERMIT, PENDING.
- F. US EPA CONSTRUCTION GENERAL PERMIT (PROGRAMMATIC)

## APPROVED BY BROOKLINE PLANNING BOARD

ON: \_\_\_\_\_ CERTIFIED BY  
CHAIRMAN: \_\_\_\_\_ AND  
SECRETARY: \_\_\_\_\_

## APPLICANT:

JAY CHRYSTAL  
14 BEN FARNSWORTH ROAD  
BROOKLINE, NH 03033

## OWNER:

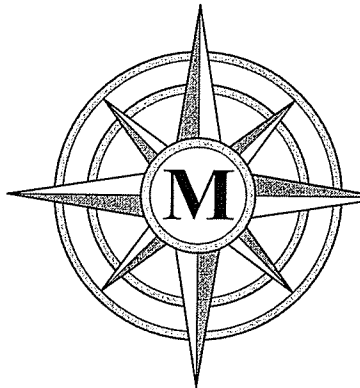
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23 MAIN STREET  
BROOKLINE, NH 03033

Issued For: REVIEW

JULY 7, 2022



REV.	DATE	DESCRIPTION	C/O	DR	CK
D	---	---	---	---	---
C	7/6/22	TOWN REVIEW COMMENTS	---	JJA	TRY
B	6/13/22	STATE REVIEW COMMENTS	---	BLR	TRY
A	5/13/22	TOWN PB SUBMISSION	---	TRY	TRY



**MERIDIAN**  
LAND SERVICES, INC.

ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441  
MERIDIANLANDSERVICES.COM FAX 603-673-1584

FILE:3077K05C.dwg

PROJECT NO. 3077.05

SHEET NO. 1 OF 13

PURPOSE OF PLAN:

TO SHOW THE IMPROVEMENTS NECESSARY TO PERMIT AND CONSTRUCT A 17 UNIT HOUSING FOR OLDER PERSONS DEVELOPMENT(HOPD).

GENERAL:

- CONTRACTOR SHALL NOTIFY 'DIG-SAFE' (1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LABOR AND SAFETY REQUIREMENTS (IE OSHA, NIOSH, MSHA, DOL, ETC.).
- AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (IE BUILDINGS, PAVEMENTS, STONE, ETC.) SHALL BE STABILIZED WITH LOAM AND SEED.
- ALL SITE WORK SHALL CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' (STANDARD SPEC), INCLUDING ALL REVISIONS AND ADDENDA.
- UPON AWARD OF THE CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AT INTERFACES WITH PROPOSED PAVEMENTS AND EXISTING GROUND ELEVATIONS ADJACENT TO PROPOSED DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND/OR RIGHT-OF-WAYS WITHOUT APPROPRIATE PERMITS.
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) INCLUDING ALL REVISIONS AND ADDENDA.
- AREAS DISTURBED BY CONTRACTOR OUTSIDE OF THE LIMITS OF WORK SHALL BE RESTORED BY CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. 'ORIGINAL CONDITION' SHALL BE DETERMINED BY PROJECT CIVIL ENGINEER FOR ONSITE AREAS, AND THE TOWN OF AMHERST FOR OFFSITE AREAS.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MEDIA ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, CONTRACTOR SHALL STOP ALL OPERATIONS IN THE VICINITY OF THE SUSPECTED CONTAMINATION AND CONTACT OWNER IMMEDIATELY.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS, AND CORRECTIVE ACTION.
- DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE EFFECTS TO OFFSITE AREAS AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE AT NO ADDITIONAL EXPENSE TO OWNER.
- THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. CONTRACTOR SHALL CONFIRM THAT OWNER HAS ALSO FILED AN NOI.
- SNOW SHALL BE STORED ONSITE IN THE AREAS DESIGNATED ON THE DRAWINGS. EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- IN THE EVENT OF CONFLICTING STANDARDS, SPECIFICATIONS, REGULATIONS, ETC. THE HIGHER REQUIREMENT SHALL PREVAIL.
- CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM OWNER PRIOR TO PERFORMING ANY ADDITIONAL SERVICES OR WORK, NOT SHOWN ON THE PROJECT DRAWINGS, OR CONTAINED IN THE PROJECT DOCUMENTS. FAILURE TO OBTAIN AUTHORIZATION PRIOR TO PERFORMING WORK, MAY INDEMNIFY OWNER FROM ADDITIONAL EXPENSES AND COSTS BORNE BY CONTRACTOR.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDINGS, FACE OF WALLS, CENTER OF PIPE, AND CENTER OF PAVEMENT MARKINGS, UNLESS OTHERWISE INDICATED, AND AS FOLLOWS:
  - SIDEWALK WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK;
  - PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
- CURB RADII ARE FIVE FEET (5') UNLESS OTHERWISE INDICATED.
- CURBING SHALL BE ASPHALTIC CAPE COD BERM (CCB) UNLESS OTHERWISE INDICATED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT STRUCTURE DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, STAIRWAYS, ENTRANCES, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS).
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET. THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING CONSTRUCTION.
- STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS. BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

UTILITIES:

- LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. OWNER OR ITS REPRESENTATIVE(S) HAVE NOT NECESSARILY INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE DRAWINGS, AND AS FOLLOWS:
  - UTILITY INFORMATION OR OTHER DATA SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE OR SERVICEABILITY OF UTILITIES;
  - DOES NOT GUARANTEE THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT, WHICH MAY NOT BE SHOWN ON THE DRAWINGS;
  - PRIOR TO ORDERING MATERIALS CONTRACTOR SHALL:
    - VERIFY AND DETERMINE EXACT LOCATIONS, SIZES, ELEVATIONS, AND MATERIAL TYPES OF EXISTING UTILITIES AT POINTS OF CONNECTIONS;
    - SHALL CONFIRM THAT THERE ARE NOT INTERFERENCES WITH EXISTING UTILITIES AND PROPOSED ROUTES.
- WHERE EXISTING UTILITIES ARE FOUND TO CONFLICT WITH PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS, SUCH THAT WORK CANNOT BE COMPLETED AS INTENDED ON THE DRAWINGS, THE CONTRACTOR SHALL:
  - CONTACT OWNER AND DESIGNATED REPRESENTATIVE(S), WITHOUT DELAY BY CONTRACTOR, AND FURNISH THE FOLLOWING INFORMATION AS FOLLOWS:
    - IN WRITING;
    - ACCURATE LOCATION, ELEVATION, SIZE, TYPE, AND MATERIAL OF THE UTILITY;
  - FAILURE OF CONTRACTOR TO NOTIFY OWNER, MAY INDEMNIFY OWNER OF ANY ADDITIONAL COSTS, CHANGE ORDERS, OR FEES BORNE BY CONTRACTOR AND AS FOLLOWS:
    - IN A TIMELY FASHION OR PER THE CONTRACT DOCUMENTS FOR RESOLUTION OF A CONFLICT;
    - PERFORMING ADDITIONAL WORK OR DIFFERENTIATION FROM THE CONTRACT DOCUMENTS, WITHOUT ATTAINING AUTHORIZATION FROM OWNER.
- LOCATION, SIZE, DEPTH AND CONSTRUCTION SPECIFICATIONS OF PROPOSED PRIVATE UTILITIES AND SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS OF THE RESPECTIVE PRIVATE/PUBLIC UTILITY COMPANY (IE SEWER, WATER, GAS, TELEPHONE, ELECTRIC, CABLE, FIRE ALARM, SECURITY ALARM, ETC.). FINAL DESIGN LOADS SHALL BE COORDINATED BY OWNER, ARCHITECT, OR RESPECTIVE TRADE RESPONSIBLE FOR CONSTRUCTION OF SAID UTILITY (IE ELECTRICIAN, PLUMBER, PIPE FITTER, ETC.).
- UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE INDICATED:
  - POTABLE WATER: POLYETHYLENE (PE) DIAMETER RATIO 9 (DR-9), PRESSURE CLASS 250 PSI;
  - SANITARY SEWER/ SEPTIC:
    - GRAVITY: POLYVINYLCHLORIDE (PVC) STANDARD DIAMETER RATIO 35 (SDR-35);
    - FORCE MAIN: POLYETHYLENE (PE) DIAMETER RATIO 9 (DR-9), PRESSURE CLASS 250 PSI;
  - STORM SEWER: DUAL WALL, SMOOTH INTERIOR, WATER TIGHT, HIGH DENSITY POLYETHYLENE (HDPE).
- WHERE SEWER PIPES CROSS WATER PIPES, AND ONE AND ONE HALF FEET (1.5') OF SEPARATION (FROM OD TO OD), WHERE THE WATER PIPE IS ABOVE THE SEWER PIPE, CANNOT BE ACHIEVED. THE SEWER PIPE SHALL BE:
  - CLASS 52 DUCTILE IRON FOR A MINIMUM OF TEN FEET (10') TO EITHER SIDE OF THE WATER PIPE;
  - SHALL BE A CONTINUOUS PIECE OF PIPE WITH NO JOINTS;
  - SHALL BE IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS AND PER THE CONTRACT DOCUMENTS.

- STORM AND SANITARY SEWER STRUCTURES SHALL HAVE A MINIMUM INTERIOR DIAMETER OF FOUR FEET (4'). THE FINAL INTERIOR DIAMETER SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE SIZES AND CONFIGURATIONS SHOWN ON THE DRAWINGS.
- GRATES, COVERS, VALVE COVERS, GAS GATES, PULL BOX COVERS SHALL BE SET AND/OR RESET AS FOLLOWS:
  - PAVEMENT SURFACES: FLUSH
  - SURFACES WITHIN ACCESSIBLE ROUTES: FLUSH
  - LANDSCAPE, TURF, OR OTHER EARTH SURFACES: ONE INCH (1") ABOVE FINAL GRADE, WITH EARTH TAPERED UP TO THE FINAL COVER/RIM ELEVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH AND PAYING FEES ASSOCIATED FOR RELOCATING AND/OR ALTERATION TO UTILITY POLES AND ABOVE AND/OR UNDERGROUND UTILITIES (IE GAS, TELEPHONE, ELECTRIC, CABLE, FIRE/SECURITY ALARM, ETC.), IRRESPECTIVE OF WHETHER THE WORK IS PERFORMED BY THE PRIVATE UTILITY.

CONSTRUCTION SEQUENCE:

- SURVEY AND MARK LIMITS OF WORK;
- MARK ALL WETLAND BOUNDARIES WITH CONSTRUCTION FENCING;
- PRIOR TO THE START OF WORK:
  - CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH TOWN ENGINEER AND OTHER INVOLVED PARTIES.
  - INSTALL/CONSTRUCT EROSION CONTROL MEASURES (IE SILTATION FENCE, CHECK DAMS, INLET/OUTLET PROTECTION, ETC.) AS INDICATED BY THE APPROVED SWPPP AND EROSION CONTROL PLANS, AND AS DEEMED NECESSARY BY THE OWNER. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THROUGHOUT THE DURATION OR WORK, AND AS REQUIRED BY NHDES AND THE SWPPP;
  - INSTALL TRAFFIC/PEDESTRIAN CONTROL SIGNS, BARRIERS, AND APPURTENANCES AS NECESSARY.
  - CONTACT DIG-SAFE (1-888-DIGSAFE), A MINIMUM OF 72 HOURS, PRIOR TO ANY EARTH MOVING OR EXCAVATION OPERATIONS.
- INSTALL TEMPORARY UTILITY SERVICES AS REQUIRED.
- STORMWATER PONDS, INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE.
- INSTALL PROPOSED UTILITIES AS REQUIRED.
- REMOVE FEATURES AS NECESSARY AND WHEN APPROPRIATE.
- PREPARE ROADWAY AND SIDEWALK BASES.
- ADJUST GRATES, COVERS, AND RIMS AS NECESSARY FOR PAVING;
- INSTALL CURBING, AND ROADWAY AND SIDEWALK PAVEMENTS;
- PERFORM ALL REMAINING WORK;
- FINISH GRADE AND RESTORE AREAS OUTSIDE OF THE WORK AREAS DISTURBED BY WORK, INCLUDING BUT NOT LIMITED TO, LAWNS, LANDSCAPE AREAS, WALKS, AND OTHER PRIVATE/PUBLIC FEATURES, DAMAGED BY WORK;
- REMOVE TEMPORARY EROSION CONTROL MEASURERS, AFTER AREAS THEY ARE SERVICING HAVE BECOME STABILIZED;
- CLEAN ALL STORM SEWER BASINS, STRUCTURES, PIPES, AND APPURTENANCES OF ANY SILT AND DEBRIS. OUTLET POINTS SHALL BE PROTECTED TO PREVENT AND ADVERSE DOWNSTREAM IMPACTS.
- CONDUCT FINAL CLEANUP, ANY ANCILLARY WORK, AND DEMOBILIZATION EFFORTS AS REQUIRED.

WILDLIFE PROTECTION NOTES:

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NHB22-0277, HOUSING FOR OLDER PERSONS DEVELOPMENT, WILDLIFE SPECIES OBSERVATION.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHF&G IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHF&G AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHF&G, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
- THE NHF&G, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

EXISTING LEGEND:

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- TOWN LINE
- HIGHWAY CENTERLINE
- ABUTTING LOT LINE
- FORMER TRACT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EXISTING GRAVEL ROAD
- EXISTING OVERHEAD UTILITIES
- EXISTING TELEPHONE LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EDGE OF WETLANDS
- EDGE OF WATER

U.S.D.A. SOILS BOUNDARY

STONE WALL

10' CONTOUR INTERVAL

2' CONTOUR INTERVAL

EXISTING TAX MAP AND LOT NUMBER

PROPOSED STREET NUMBER

EXISTING BUILDING

TEST PIT DATA TEST PIT NUMBER  
DEPTH-LEDGE FOUND  
DEPTH-SEASONAL HIGH WATER FOUND

4,000 S.F. SEPTIC AREA

SEPTIC SETBACK LINE

EXISTING TREE LINE

EXISTING RIP-RAP AREA

EXISTING STONE RETAINING WALL

EXISTING CHAINLINK FENCE LINE

EXISTING STOCKADE FENCE LINE

EXISTING GUARDRAIL LINE

EXISTING GRANITE BOUND FOUND

EXISTING DRILL HOLE FOUND/SET

EXISTING IRON PIPE FOUND

EXISTING MONITORING WELL

EXISTING SEWER MANHOLE

EXISTING DRAIN MANHOLE

EXISTING TELEPHONE MANHOLE

EXISTING MANHOLE

EXISTING CATCH BASIN SQUARE

EXISTING CATCH BASIN ROUND

EXISTING LIGHT

EXISTING SINGLE POST SIGN

EXISTING DOUBLE POST SIGN

EXISTING WATER HYDRANT

EXISTING WATER VALVE

EXISTING SHUT-OFF

EXISTING WELL

EXISTING GAS VALVE

EXISTING FLAG POLE

EXISTING MAILBOX

EXISTING WETLAND FLAG

EXISTING BENCHMARK SET

EXISTING BOULDERS

EXISTING BORING

EXISTING SEWER EASEMENT

EXISTING DRAINAGE EASEMENT

EXISTING UTILITY EASEMENT

EXISTING RAILROAD EASEMENT

EXISTING ASPHALT SURFACE

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EXISTING ASPHALT SURFACE



NOTES:

1. THE OWNERS OF RECORD OF TAX MAP PARCEL H-42 ARE FELIX J. & ELEANOR MONIUS - 23 MAIN STREET, BROOKLINE, N.H. DEED REFERENCES ARE VOL. 1627 PG. 295 DATED NOV. 28, 1960 AND VOL. 1914 PG. 265 DATED NOV. 1, 1966, IN THE H.C.R.D. APPLICANT/DEVELOPER IS JAY CHRYSTAL, 14 BEN FARNSWORTH RD., BROOKLINE, NH 03033.

2. THE PURPOSE OF THIS PLAN IS DEFINE A 17 UNIT HOUSING FOR OLDER PERSONS DEVELOPMENT ON LOT H-42, AS SHOWN.

3. H-42 DENOTES TAX MAP PAGE AND PARCEL NUMBER.

4. THE TOTAL AREA OF THE SITE IS 13.15± ACRES OR 572,900± SQ.FT.

4. THE PERIMETER OF LOT H-42 & IS THE RESULT OF A BOUNDARY SURVEY BY THIS OFFICE.

5. THE WETLANDS SHOWN WERE DELINEATED BY CERTIFIED WETLANDS SCIENTIST THOMAS E. CARR, CWS, FROM THIS OFFICE, IN AUGUST, 2021, IN ACCORDANCE WITH "CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".

6. THE NISSITISSIT RIVER AND ABUTTING BUILDINGS SHOWN WERE DEVELOPED FROM THE 2010 NEW HAMPSHIRE GRANIT AERIAL PHOTOGRAPHY, ON FILE AT NEW HAMPSHIRE GRANIT.

7. ZONING FOR THE SITE IS RESIDENTIAL-AGRICULTURAL. MINIMUM HOPD REQUIREMENTS ARE: MINIMUM AREA-10 CONTIGUOUS ACRES, MINIMUM FRONTAGE-50.00'. MINIMUM FRONT SETBACK IS 30', MINIMUM PERIMETER BUILDING SETBACK IS 75' WITH A MINIMUM OF 25' BETWEEN SINGLE STORY BUILDINGS. MINIMUM OPEN SPACE REQUIREMENTS ARE: 20% OF THE TOTAL TRACT AREA WITH 55% OF THE REQUIRED OPEN SPACE BEING UPLAND WITH SLOPES LESS THAN 25%. 50% OF THE MINIMUM REQUIRED OPEN SPACE AREA SHALL BE AVAILABLE & MANAGED FOR THE PASSIVE OR ACTIVE RECREATIONAL ACTIVITIES OF THE RESIDENTS. THIS AREA MAY CONSIST OF WALKING TRAIL, INFORMAL MEETING AREAS, GARDENS, ACTIVE RECREATION AREAS, OR OTHER RECREATIONAL AMENITIES.

8. OPEN SPACE REQUIRED IS 20% OF TRACT TOTAL (13.15+/- ACRES) OR 2.63+/- ACRES, PROVIDED IS 6.42+/- ACRES. 55% OF THE MINIMUM OPEN SPACE OR 1.62+/- ACRES IS REQUIRED TO BE OUTSIDE OF 50' BUFFER, 2.2+/- ACRES PROVIDED. LOT DENSITY ALLOW IS 1 UNIT PER .5 ACRE OF CONTIGUOUS UPLAND WITH SLOPES UNDER 25%, SITE HAS 10.7 +/- ACRES OF NON-STEEP UPLAND; THEREFORE 21 UNITS ARE ALLOWED WITH 17 UNITS PROPOSED.

9. THE SITE LIES PARTIALLY WITHIN THE FIRM 1% ANNUAL CHANCE OF FLOOD HAZARD, PARTIALLY WITHIN THE N.H. SHORELAND PROTECTION DISTRICT AND ENTIRELY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT.

SOILS INFORMATION:

D6a DEERFIELD LOAMY FINE SAND, 0 TO 3% SLOPES  
H5a HICKLEY LOAMY SAND, 0 TO 8% SLOPES  
H5b HICKLEY LOAMY SAND, 3 TO 8% SLOPES  
H5d HICKLEY LOAMY SAND, 15 TO 35% SLOPES  
Rp RIPPOWAM FINE SANDY LOAM, NEARLY LEVEL

THE SOILS INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM U.S.D.A.S.C.S. SOIL SURVEY OF HILLSBOROUGH COUNTY, EASTERN PART DATED OCT., 1981.

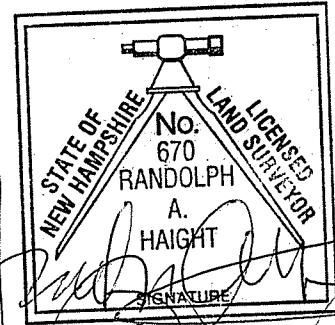
TOPOGRAPHIC INFORMATION:

THE TOPOGRAPHY SHOWN IS THE RESULT OF AN ONSITE TOPOGRAPHIC SURVEY BY THIS OFFICE, DATUM IS NGVD 1929.

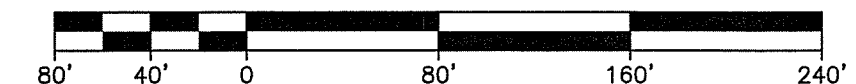
CERTIFICATION:

"I HEREBY CERTIFY THAT LOT H-42 IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE LOT H-42

DATE: 7-7-22



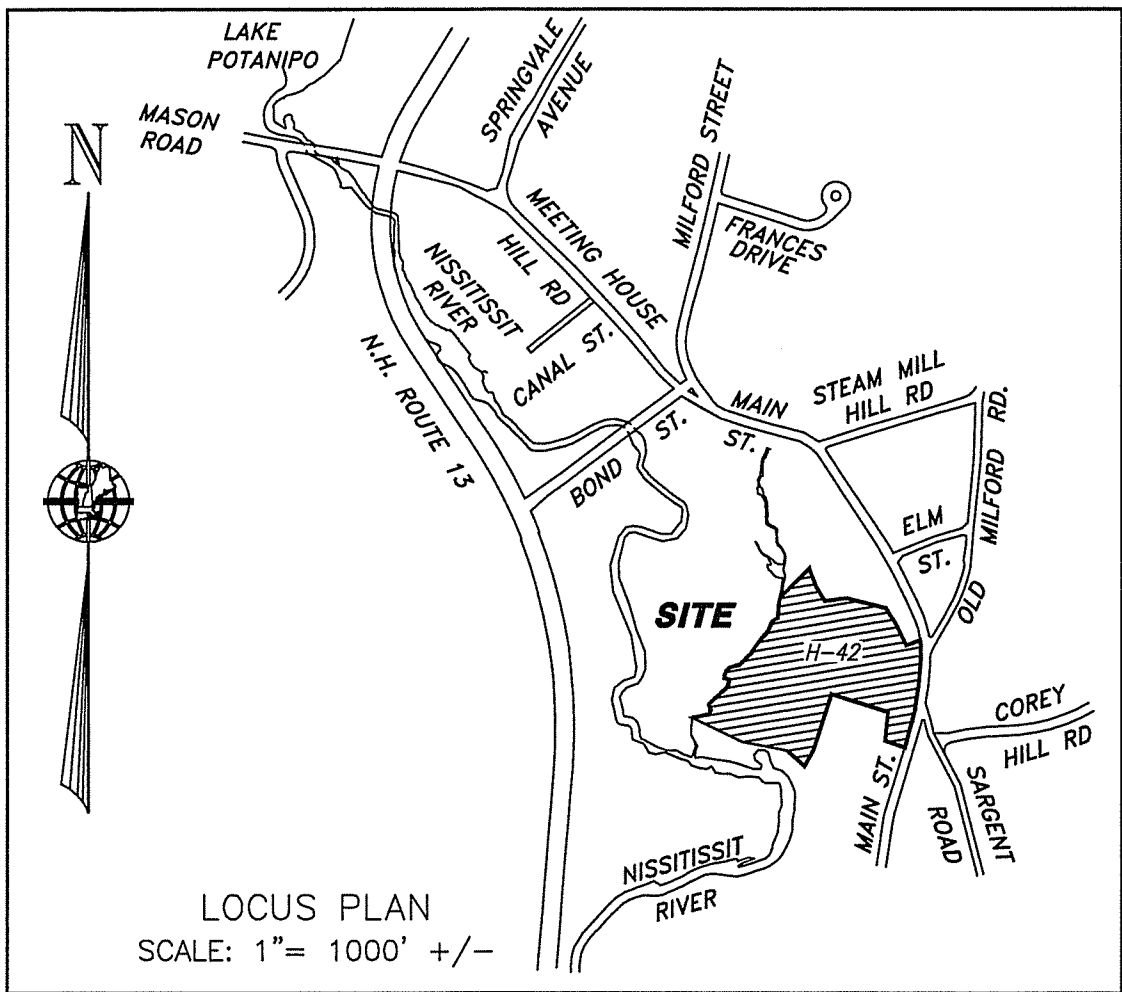
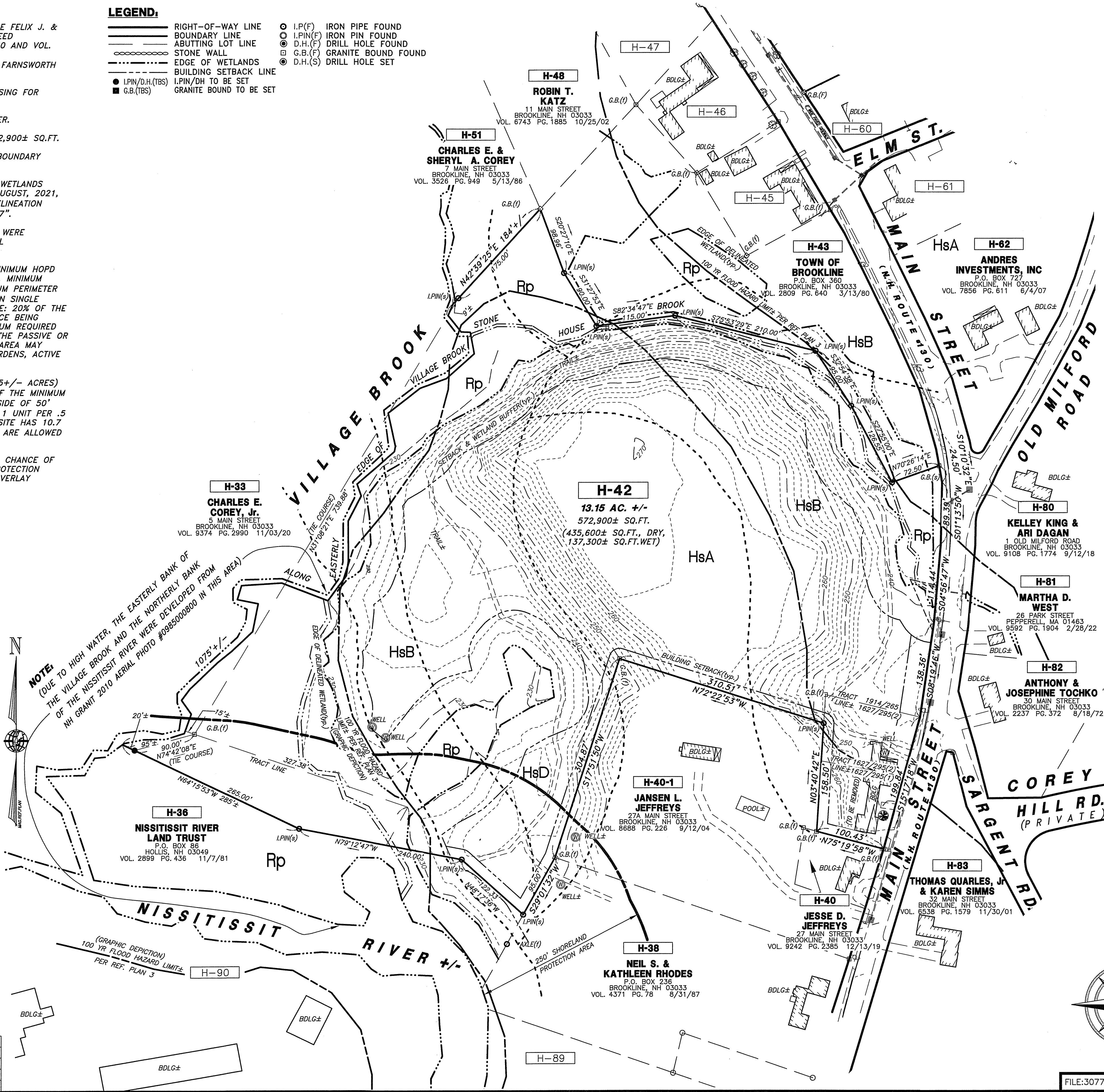
GRAPHIC SCALE



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C	---	---	---	---	---
B	---	---	---	---	---
A	6/20/22	NOTE MON. SET	BPB	RAH	---
REV.	DATE	DESCRIPTION	C/O	DR	CK

LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- STONE WALL
- EDGE OF WETLANDS
- BUILDING SETBACK LINE
- I.PIN/D.H.(TBS)
- G.B.(TBS)
- I.P.(F) IRON PIPE FOUND
- I.PIN(F) IRON PIN FOUND
- D.H.(F) DRILL HOLE FOUND
- G.B.(F) GRANITE BOUND FOUND
- D.H.(S) DRILL HOLE SET
- I.PIN/DH TO BE SET
- GRANITE BOUND TO BE SET



REFERENCE PLANS:

- "LOT LINE REVISION PLAN - TAX MAP H, PARCELS 36, 42 & 43 - LAND OF - NISSITISSIT RIVER - LAND TRUST - LAND OF - FELIX J. & ELEANOR MONIUS - AND LAND OF - TOWN OF BROOKLINE - PREPARED FOR - JAY CHRYSTAL - 23 MAIN STREET - BROOKLINE, NH ", SCALE: 1"=80', DATED FEBRUARY 22, 2022, REVISED THROUGH 4/27/22 BY MERIDIAN LAND SERVICES, INC., TO BE RECORDED.
- "MAIN STREET (NH ROUTE130) DRAINAGE - BROOKLINE, NEW HAMPSHIRE - TOWN OF BROOKLINE" SCALE: AS SHOWN, DATED DEC. 27, 1999, REVISED THROUGH 2-01-00 BY THIS OFFICE.
- "FIRM - FLOOD INSURANCE RATE MAP - HILLSBOROUGH COUNTY - NEW HAMPSHIRE - (ALL JURISDICTIONS) - PANEL 610 OF 701" MAP NUMBER 33011C0610D, EFFECTIVE DATE: SEPTEMBER 25, 2009, SCALE: 1"=1000', BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

APPROVED BY BROOKLINE PLANNING BOARD

ON: \_\_\_\_\_ CERTIFIED BY  
CHAIRMAN: \_\_\_\_\_ AND  
SECRETARY: \_\_\_\_\_

EXISTING CONDITIONS PLAN  
HOUSING FOR OLDER PERSONS DEVELOPMENT  
TAX MAP H, PARCEL 42

LAND OF

FELIX J. &  
ELEANOR MONIUS

PREPARED FOR

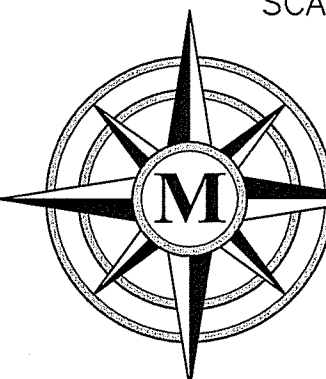
JAY CHRYSTAL

23 MAIN STREET

BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 80'

APRIL 26, 2022



MERIDIAN

LAND SERVICES, INC.

ENGINEERING | SURVEYING | PERMITTING

SOIL & WETLAND MAPPING | SEPTIC DESIGN

31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL: 603-673-1441

MERIDIANLANDSERVICES.COM FAX: 603-673-1584

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PROJECT NO. 3077.05

SHEET NO. 3 OF 13



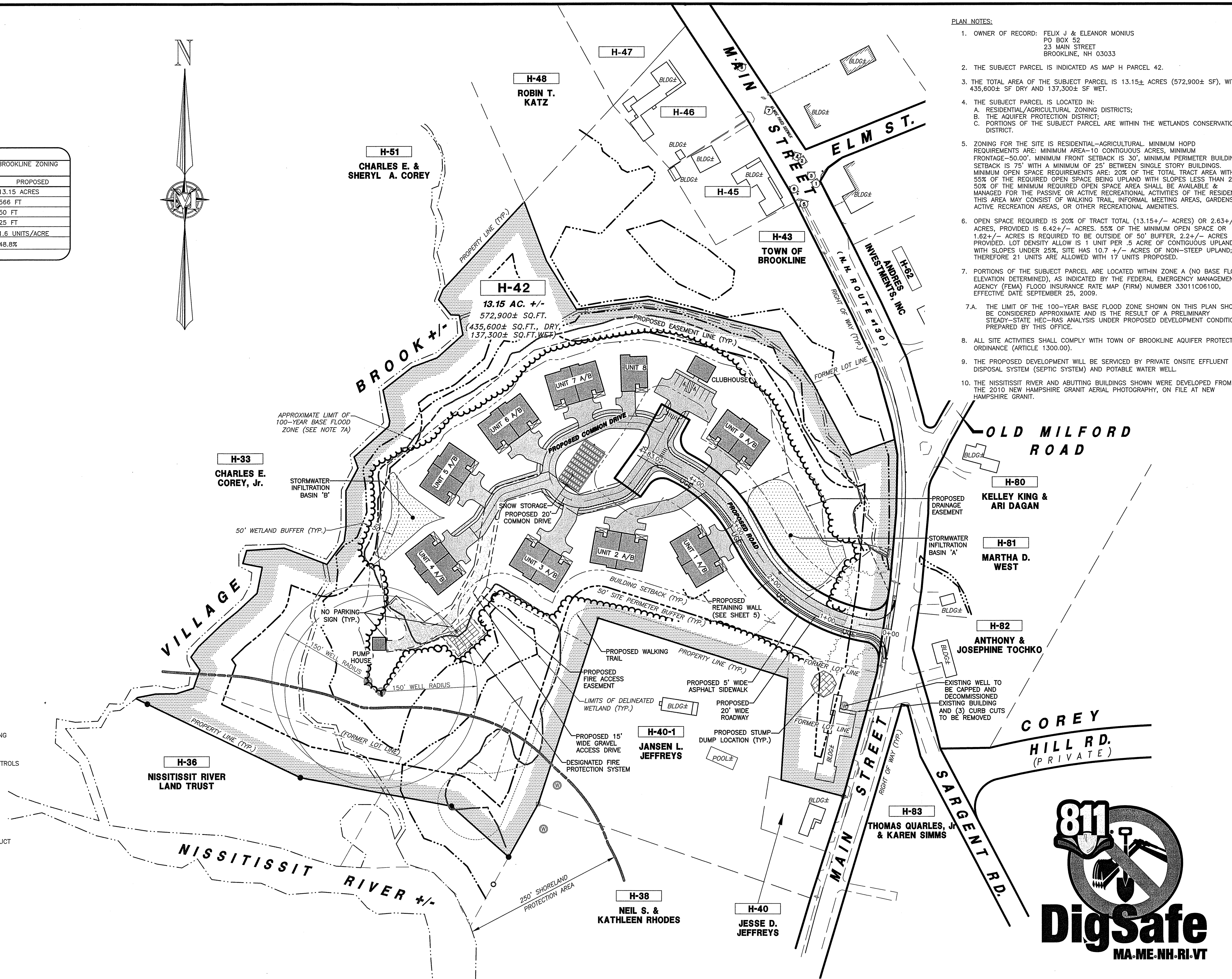
ZONING SUMMARY		
ZONE: RESIDENTIAL/AGRICULTURE PER THE TOWN OF BROOKLINE ZONING ORDINANCE		
REQUIREMENT (HOP)	REQUIRED	PROPOSED
LOT SIZE	10 ACRES	13.15 ACRES
FRONTAGE	50 FT	566 FT
SITE PERIMETER BUFFER	50 FT	50 FT
SETBACKS	25 FT	25 FT
UNIT DENSITY (SEE NOTE 6)	2 UNITS/ACRE	1.6 UNITS/ACRE
OPEN SPACE (SEE NOTE 6)	20%	48.8%

EXISTING FEATURES:

---	RIGHT OF WAY
---	EASEMENT LINE
---	APPX. ABUTTING LOT LINE
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	TREELINE
---	EDGE OF GRAVEL
---	SETBACK LINE
---	STONE WALL
---	UCU UNDERGROUND CABLE UTILITY LINE
---	OH OVERHEAD UTILITIES
---	UGU UNDERGROUND ELECTRIC LINE
---	G GAS LINE
---	UT UNDERGROUND TELEPHONE LINE
---	W POTABLE WATER LINE
---	LIMIT OF DELINEATED WETLAND
---	WETLAND BUFFER
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
---	EXISTING BUILDING
---	EXIST. GRANITE BOUND FOUND
---	EXIST. DRILL HOLE FOUND/SET
---	EXIST. IRON PIPE FOUND
---	EXISTING DRAIN MANHOLE
---	EXISTING MANHOLE
---	EXISTING CATCH BASIN SQUARE
---	EXISTING LIGHT
---	EXISTING SINGLE POST SIGN
---	EXISTING WELL
---	TEST PIT

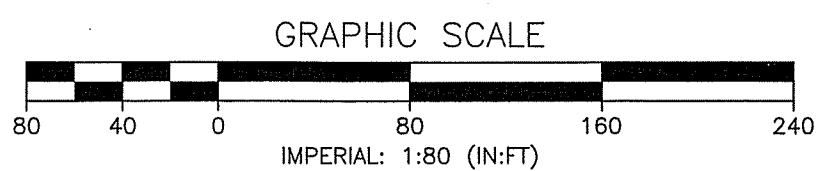
PROPOSED FEATURES:

---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED VERTICAL GRANITE CURBING
---	PROPOSED CAPE COD BERM
---	PROPOSED PERIMETER EROSION CONTROLS
---	PROPOSED FENCELINE
---	PROPOSED TREELINE
---	PROPOSED 10' CONTOUR
---	PROPOSED 2' CONTOUR
---	PROPOSED DRAIN LINE
---	PROPOSED UNDERGROUND UTILITY DUCT
---	PROPOSED POTABLE WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORMWATER BASIN
---	PROPOSED RIPRAP AREA
---	PROPOSED ASPHALT SURFACE
---	PROPOSED BUILDING
---	SPOT GRADE

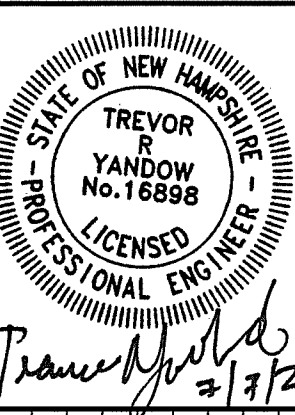
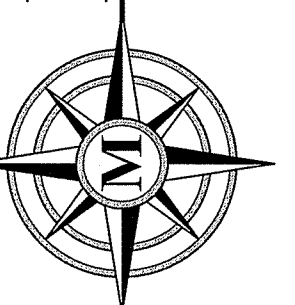


PLAN NOTES:

- OWNER OF RECORD: FELIX J & ELEANOR MONIUS  
PO BOX 52  
23 MAIN STREET  
BROOKLINE, NH 03033
- THE SUBJECT PARCEL IS INDICATED AS MAP H PARCEL 42.
- THE TOTAL AREA OF THE SUBJECT PARCEL IS 13.15± ACRES (572,900± SF), WITH 435,600± SF DRY AND 137,300± SF WET.
- THE SUBJECT PARCEL IS LOCATED IN:  
A. RESIDENTIAL/AGRICULTURAL ZONING DISTRICTS;  
B. THE AQUIFER PROTECTION DISTRICT;  
C. PORTIONS OF THE SUBJECT PARCEL ARE WITHIN THE WETLANDS CONSERVATION DISTRICT.
- ZONING FOR THE SITE IS RESIDENTIAL-AGRICULTURAL. MINIMUM HOPD REQUIREMENTS ARE: MINIMUM AREA-10 CONTIGUOUS ACRES, MINIMUM FRONTAGE-50.00', MINIMUM FRONT SETBACK IS 30', MINIMUM PERIMETER BUILDING SETBACK IS 75' WITH A MINIMUM OF 25' BETWEEN SINGLE STORY BUILDINGS. MINIMUM OPEN SPACE REQUIREMENTS ARE: 20% OF THE TOTAL TRACT AREA WITH 55% OF THE REQUIRED OPEN SPACE BEING UPLAND WITH SLOPES LESS THAN 25%. 50% OF THE MINIMUM REQUIRED OPEN SPACE AREA SHALL BE AVAILABLE & MANAGED FOR THE PASSIVE OR ACTIVE RECREATIONAL ACTIVITIES OF THE RESIDENTS. THIS AREA MAY CONSIST OF WALKING TRAIL, INFORMAL MEETING AREAS, GARDENS, ACTIVE RECREATION AREAS, OR OTHER RECREATIONAL AMENITIES.
- OPEN SPACE REQUIRED IS 20% OF TRACT TOTAL (13.15+/- ACRES) OR 2.63+/- ACRES, PROVIDED IS 6.42+/- ACRES. 55% OF THE MINIMUM OPEN SPACE OR 1.62+/- ACRES IS REQUIRED TO BE OUTSIDE OF 50' BUFFER, 2.2+/- ACRES PROVIDED. LOT DENSITY ALLOW IS 1 UNIT PER .5 ACRE OF CONTIGUOUS UPLAND WITH SLOPES UNDER 25%; SITE HAS 10.7 +/- ACRES OF NON-SLOPE UPLAND; THEREFORE 21 UNITS ARE ALLOWED WITH 17 UNITS PROPOSED.
- PORTIONS OF THE SUBJECT PARCEL ARE LOCATED WITHIN ZONE A (NO BASE FLOOD ELEVATION DETERMINED), AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 33011C0610D, EFFECTIVE DATE SEPTEMBER 25, 2009.  
7.A. THE LIMIT OF THE 100-YEAR BASE FLOOD ZONE SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE AND IS THE RESULT OF A PRELIMINARY STEADY-STATE HEC-RAS ANALYSIS UNDER PROPOSED DEVELOPMENT CONDITIONS PREPARED BY THIS OFFICE.
- ALL SITE ACTIVITIES SHALL COMPLY WITH TOWN OF BROOKLINE AQUIFER PROTECTION ORDINANCE (ARTICLE 1300.00).
- THE PROPOSED DEVELOPMENT WILL BE SERVICED BY PRIVATE ONSITE EFFLUENT DISPOSAL SYSTEM (SEPTIC SYSTEM) AND POTABLE WATER WELL.
- THE NISSITISSIT RIVER AND ABUTTING BUILDINGS SHOWN WERE DEVELOPED FROM THE 2010 NEW HAMPSHIRE AERIAL PHOTOGRAPHY, ON FILE AT NEW HAMPSHIRE GRANIT.



**MERIDIAN**  
LAND SERVICES, INC.  
31 OLD NASTUA ROAD, ANHEIST, NH 03021  
TEL: 603-973-1441  
FAX: 603-973-1594



REV.	DATE	DESCRIPTION
1	7/15/22	TOWN REVIEW COMMENTS
2	8/13/22	STATE REVIEW COMMENTS
3	10/13/22	TOWN PER SUBMISSION
4	11/13/22	REV.

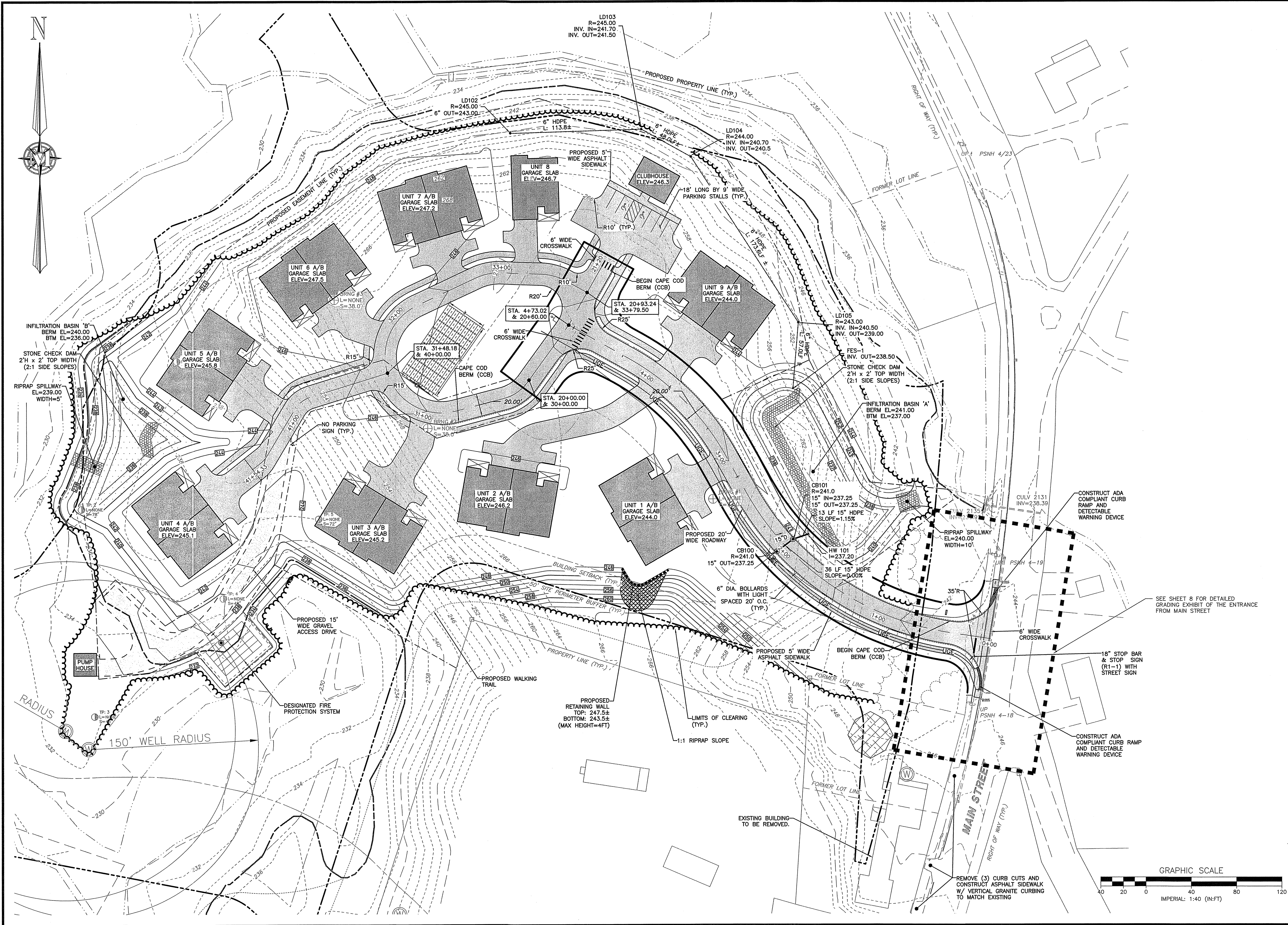
COMMUNITY AT VILLAGE BROOK  
SITE LAYOUT PLAN

JAY CHRYSTAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

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Meridian

LAND SERVICES, INC.

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31 OLD NASHUA ROAD, AMHERST, NH 03031  
TEL: 603-673-1441  
MERIDIANLANDSERVICES.COM

STATE OF NEW HAMPSHIRE  
TREVOR YANDOW  
No. 16898  
LICENSED PROFESSIONAL ENGINEER

Trevor Yandow  
7/7/22

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JAY CHRYSAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 40'

SP-3

SHEET

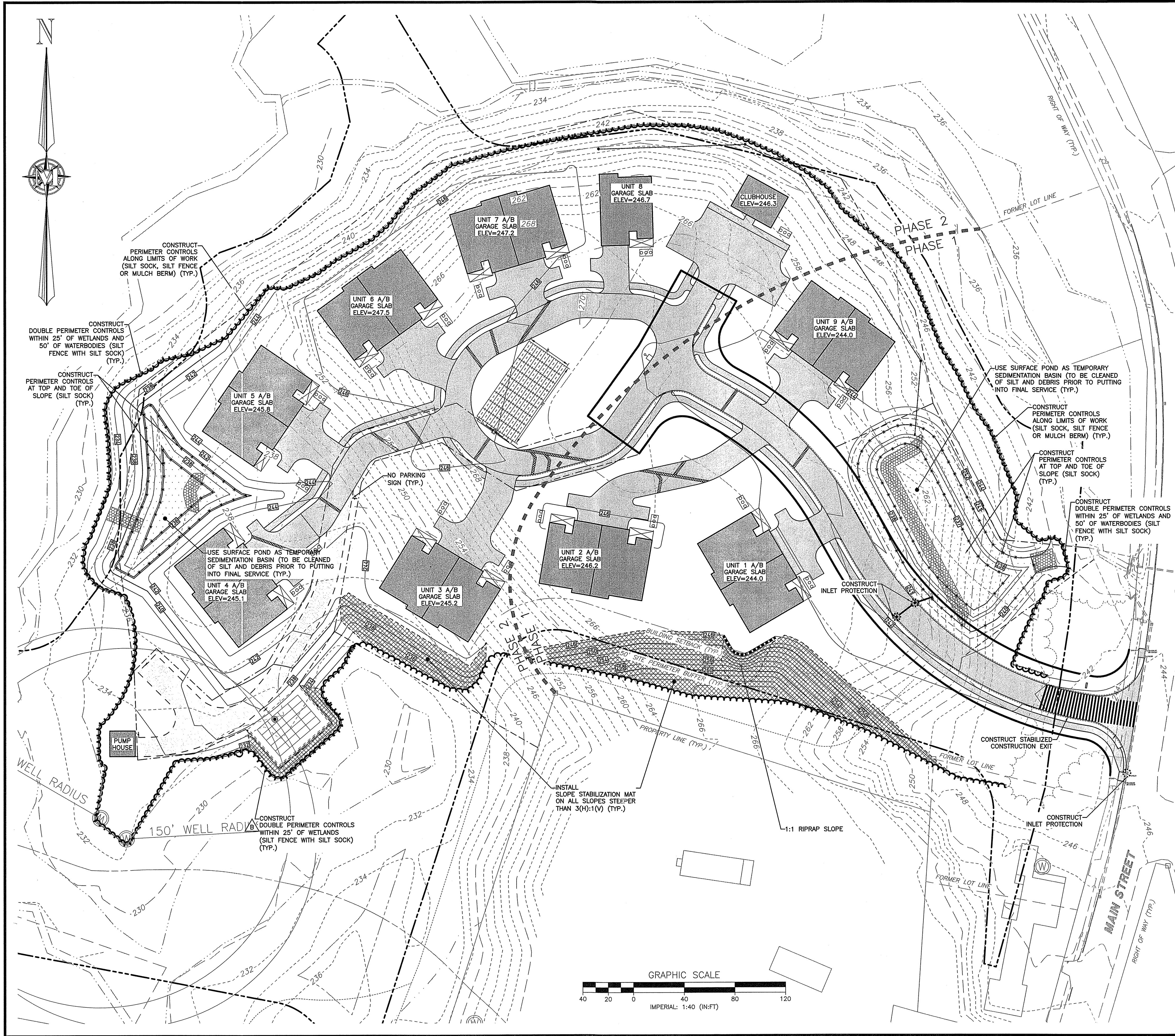
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- EROSION AND SEDIMENTATION CONTROL NOTES**
- THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.
  - THE EROSION CONTROL MEASURES SHOWN ARE DIAGRAMMATIC. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLACE THE PERIMETER CONTROL MEASURES IN THE APPROPRIATE LOCATIONS.
  - PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS, AND SHALL COORDINATE PRE-CONSTRUCTION MEETING WITH THE TOWN OF MILFORD.
  - THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS (IE WETLANDS, STREAMS, ETC.). WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITED.
  - THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
  - UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
  - AREAS REMAINED UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
  - PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
  - DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
  - SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR COMPOST SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.
  - THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).
  - THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.
  - AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
    - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT WEIGHT;
    - A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
    - A MINIMUM OF 3-IN OF NON EROSION MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
    - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
    - THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.
  - AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.
  - ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
  - ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
  - ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
  - EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FT HORIZONTAL TO 1-FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.
  - THE CONTRACTOR SHALL APPLY FOR AND RECEIVE AN NHDES GROUNDWATER DISCHARGE PERMIT, PRIOR TO CONDUCTING ANY DOWATERING EFFORTS AND/OR PUMPING OF GROUNDWATER.
  - EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
  - ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	SLOPE SEED		
CREeping RED FESCUE	0.87 LBS.	CREeping RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSIKE CLOVER	0.18 LBS.
		BIRDSFOOT TREFOIL	0.18 LBS.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
  - FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
  - PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
  - ALL MANUFACTURED EROSION AND SEDIMENTATION CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, MULTI-FILAMENT, OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES.
  - PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
  - STORMWATER PONDS INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING OF THE SITE.
  - STUMPS THAT ARE REMOVED FROM SITE SHALL BE MULCHED AND USED APPROPRIATELY IN APPLICABLE EROSION CONTROLS (MULCH BERM).
  - ANY STUMPS NOT UTILIZED FOR EROSION CONTROLS SHALL BE REMOVED FROM THE SITE OR BURIED IN THE SPECIFIED "STUMP DUMP" LOCATIONS.

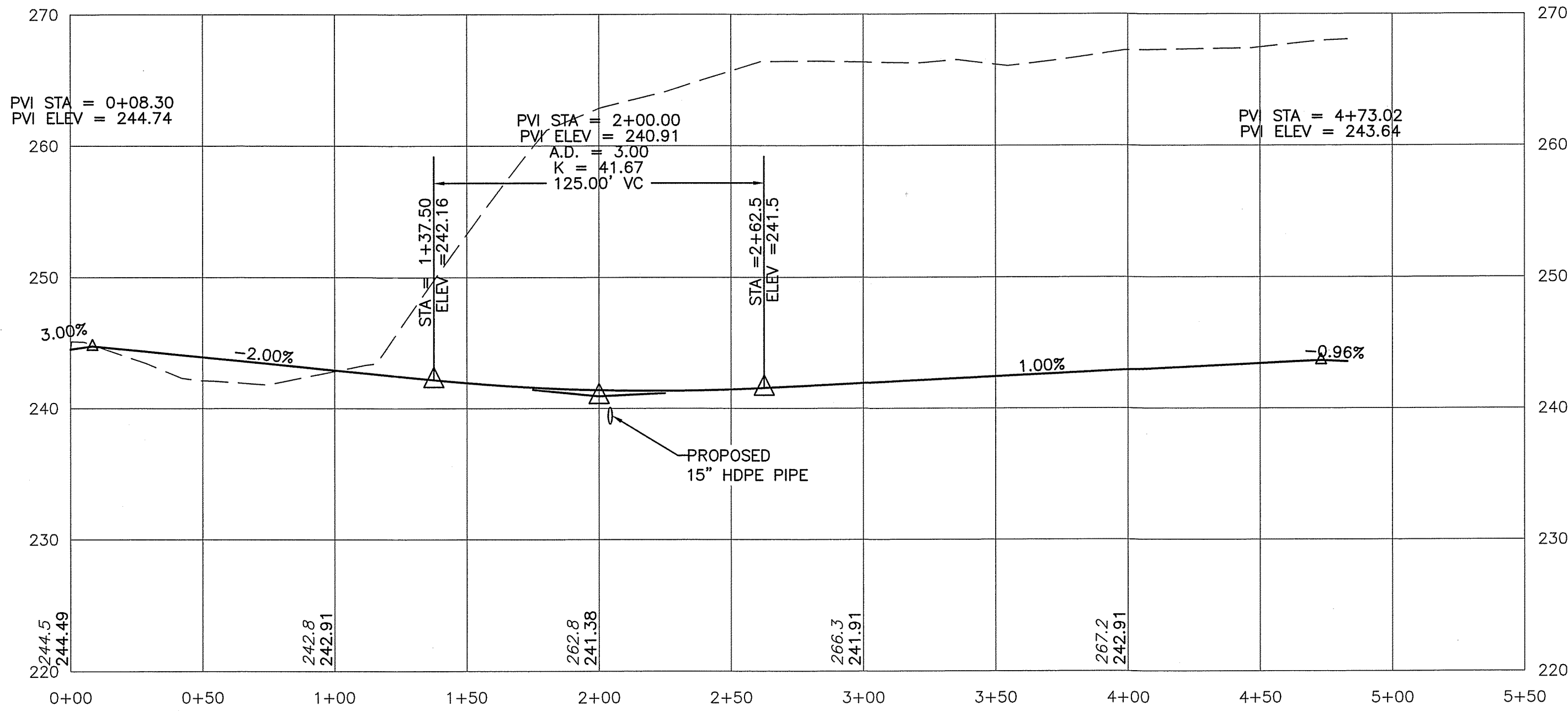
**MERIDIAN**  
LAND SERVICES, INC.  
ENGINEERING SURVEYING PERMITTING  
SOIL & WETLAND MAPPING SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03051  
TEL: 603-673-1441  
FAX: 603-673-1584

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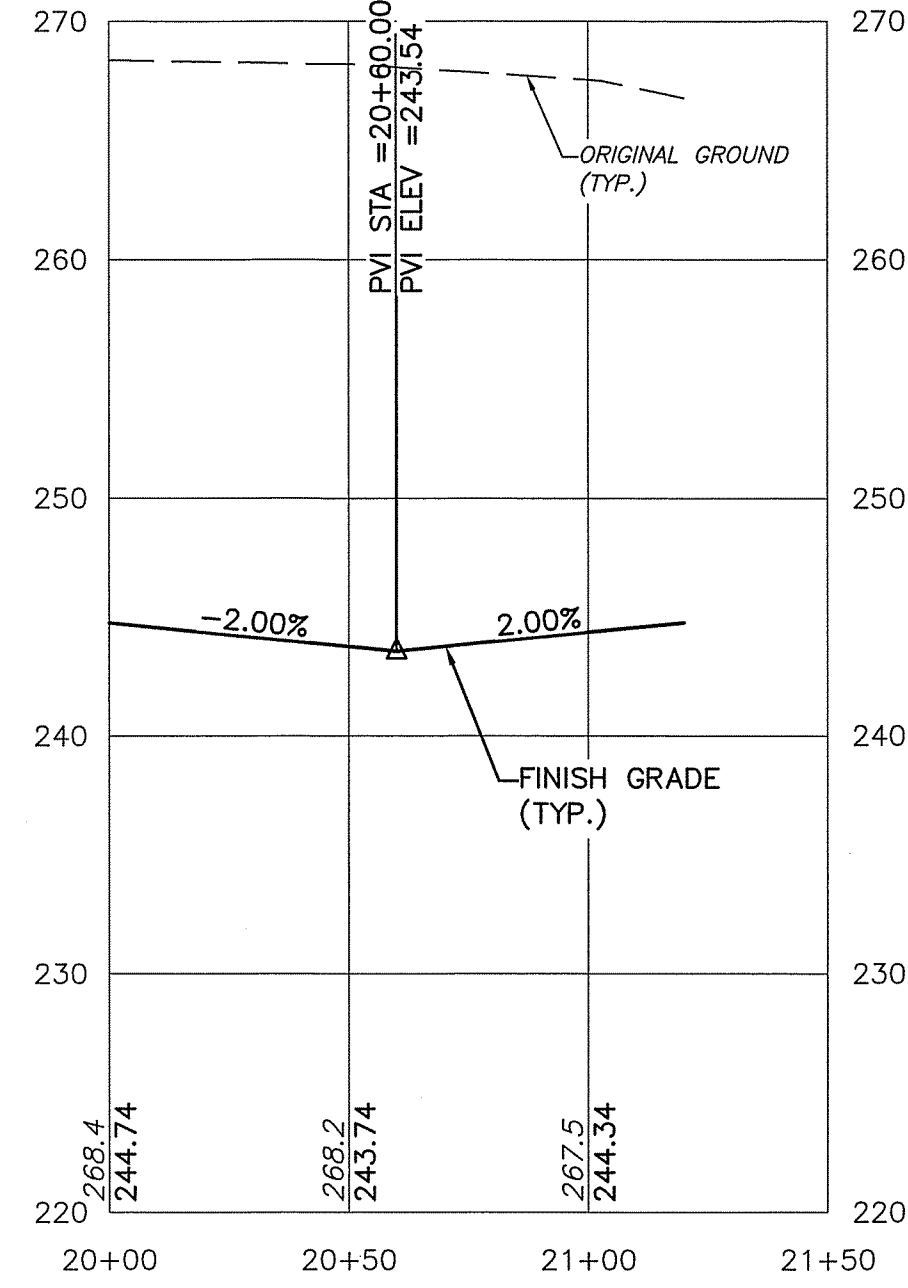
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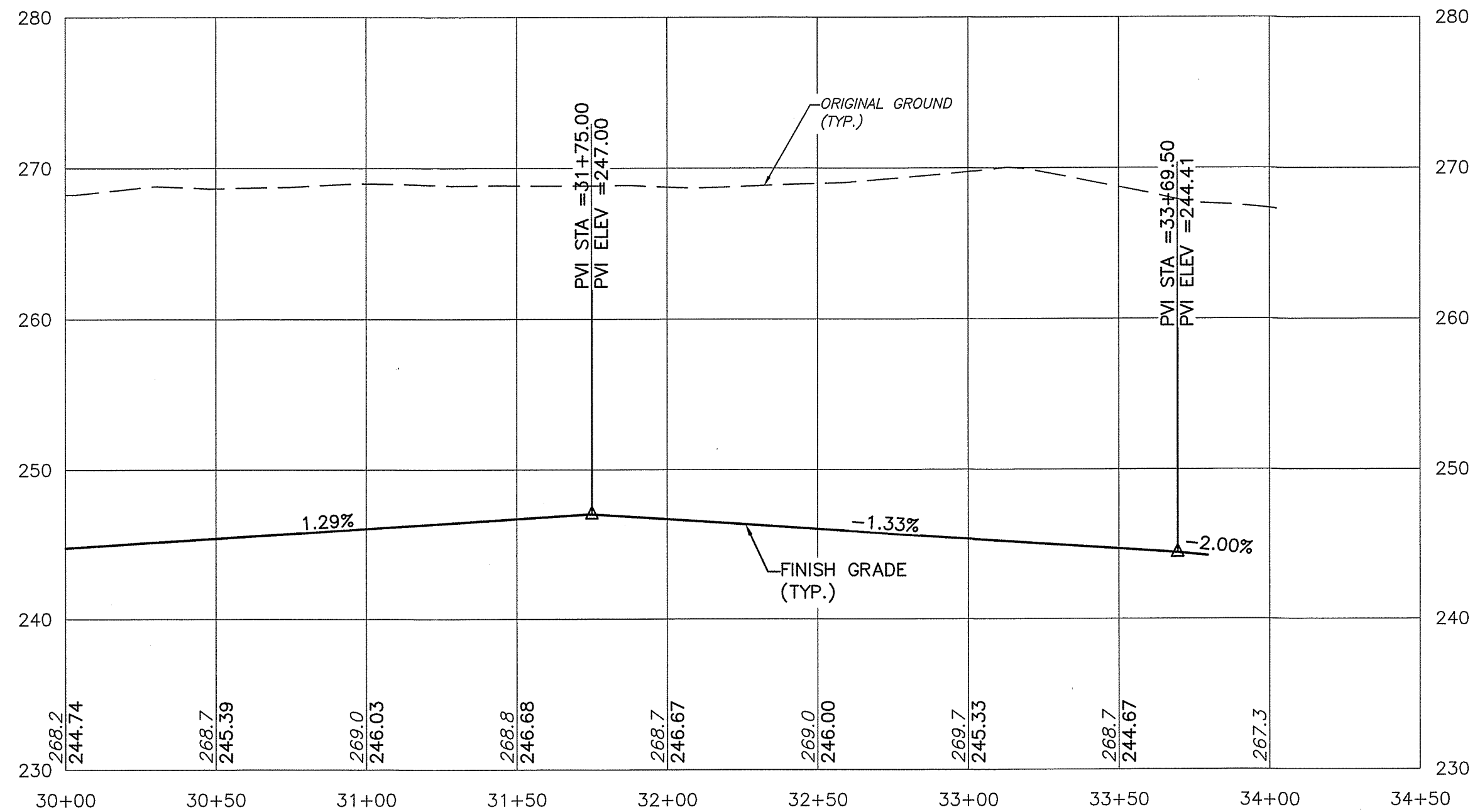
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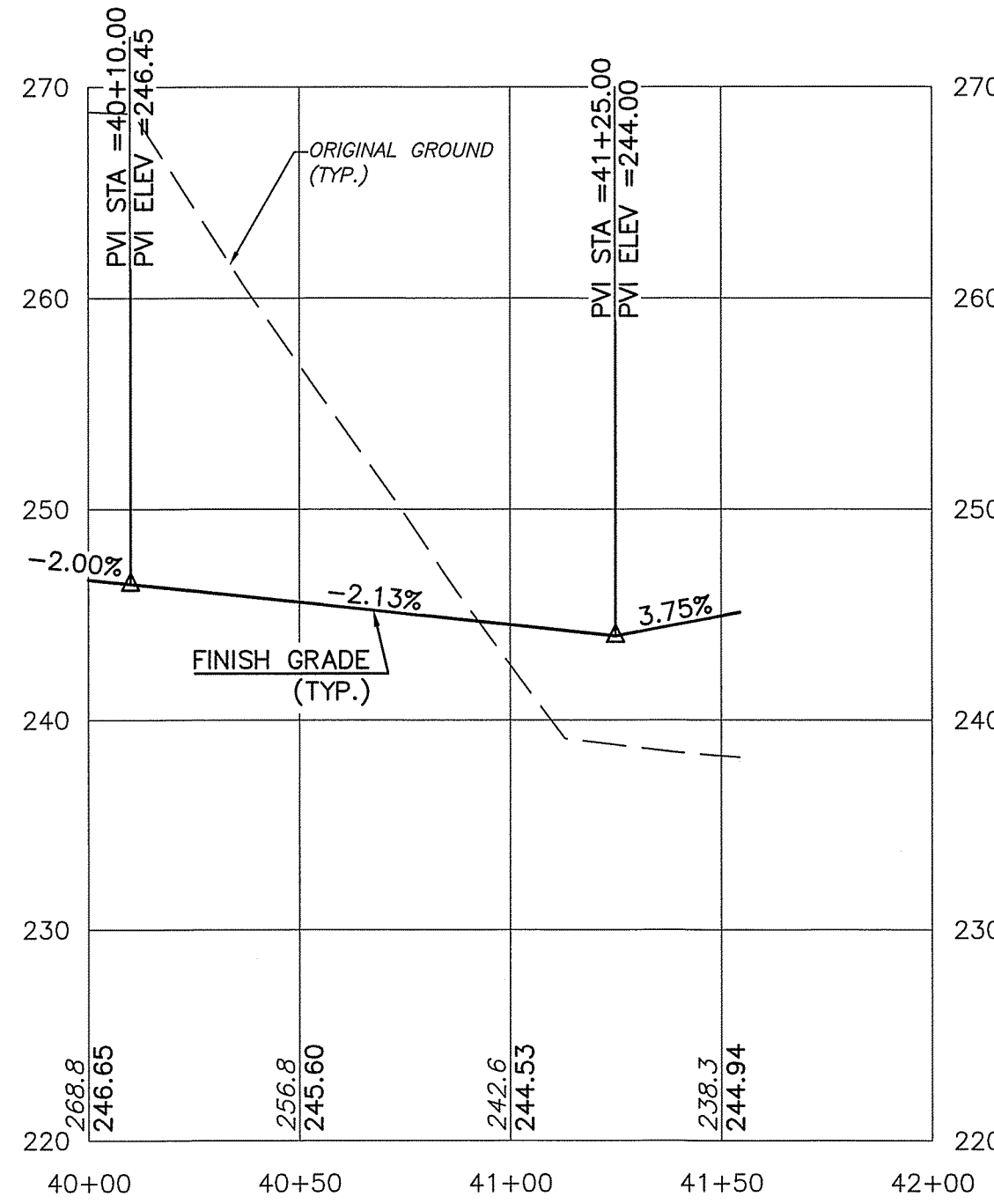
MAIN ROADWAY - STA. 10+00 TO 15+05.00



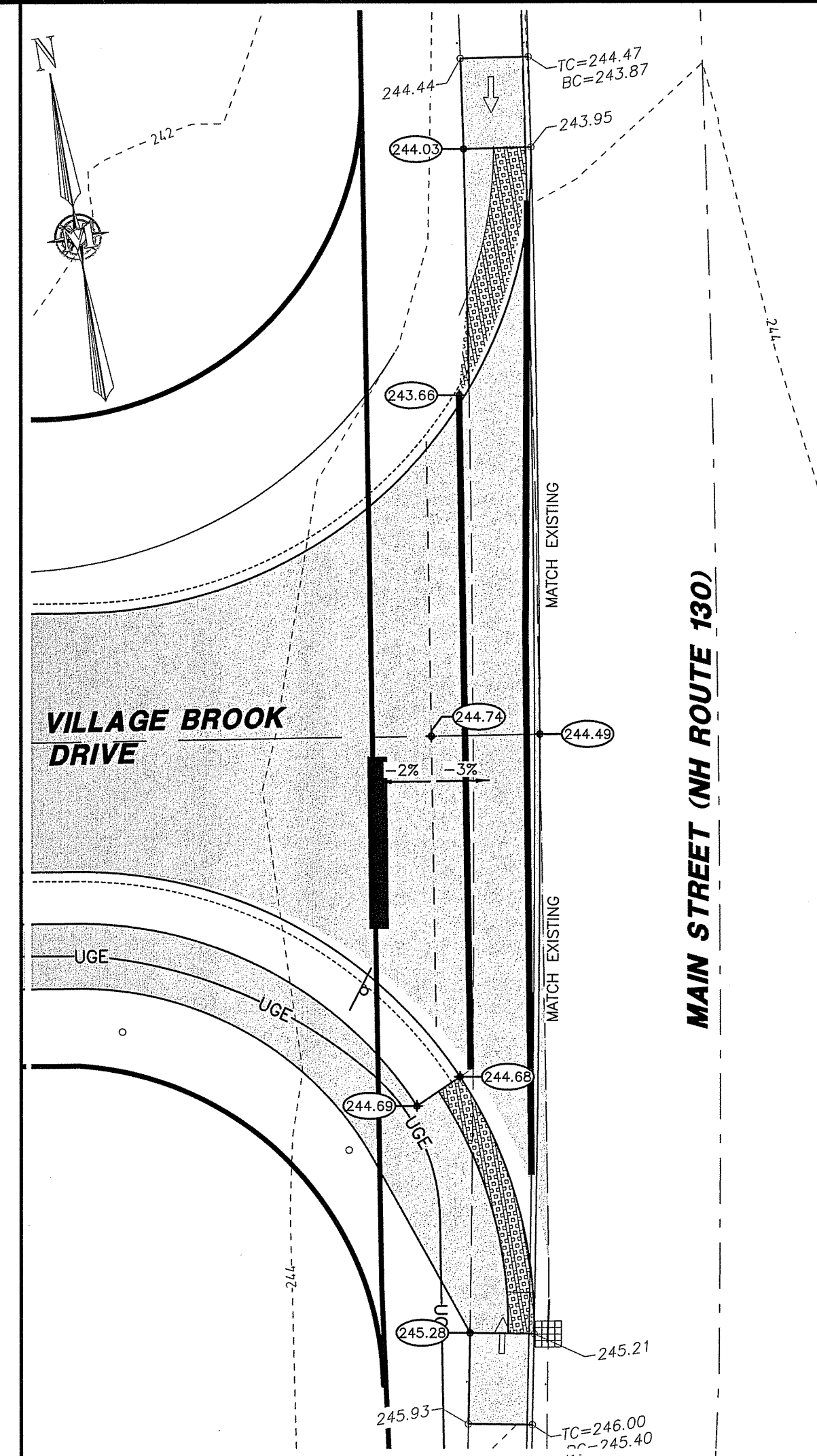
HAMMERHEAD - STA. 20+00 TO 21+20.00



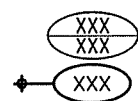
LOOP COMMON DRIVEWAY - STA. 30+00 TO 33+79.05



COMMON DRIVEWAY FOR UNITS 4 AND 5 - STA. 40+00 TO 41+54.33

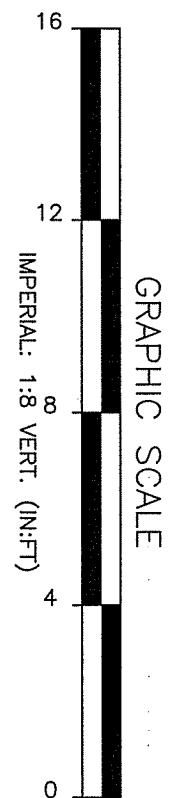
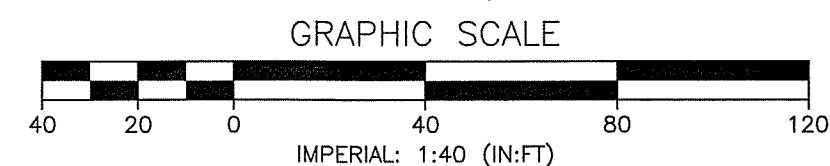
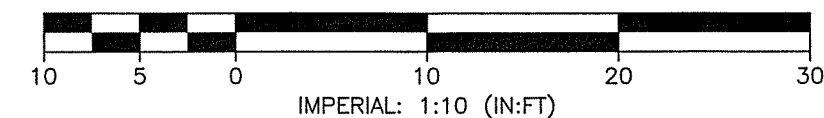


LEGEND:



DETAILED GRADING EXHIBIT

SCALE: 1"=10'  
GRAPHIC SCALE



**MERIDIAN**  
LAND SERVICES, INC.  
ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03081  
TEL: 603-673-1441  
FAX: 603-673-1584  
MERIDIANLANDSERVICES.COM

STATE OF NEW HAMPSHIRE  
TREVOR  
YANDOW  
No. 16898  
LICENSED  
PROFESSIONAL ENGINEER - 3P  
*Trevor Yandow*  
7/7/22

REV	DATE	DESCRIPTION
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JAY CHRYSTAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

COMMUNITY AT VILLAGE BROOK  
ROADWAY PROFILES

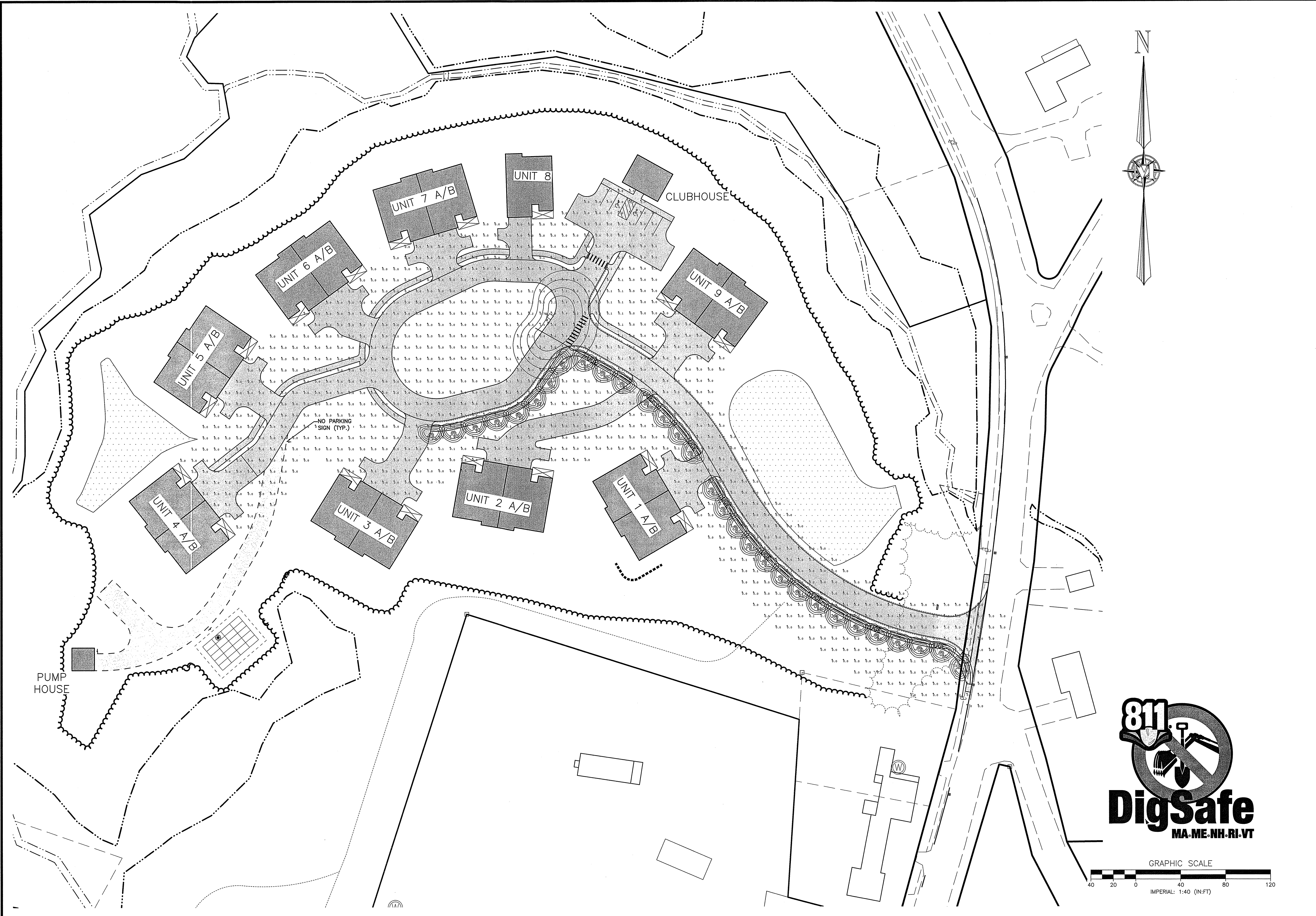
JANUARY 18, 2022


SCALE: 1" = 40' HORIZ. / 8' VERT.

**P-1**  
SHEET

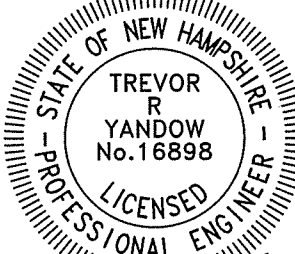
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SHEET NO. 8 OF 13







**MERIDIAN**  
LAND SERVICES, INC.  
ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03001  
TEL: 603-673-1441  
FAX: 603-673-1584  
MERIDIANLANDSERVICES.COM



*Trevor Yandow*  
7/7/22

REV.	DATE	DESCRIPTION
A	5/13/22	TOWN PB SUBMISSION
B	6/13/22	STATE REVIEW COMMENTS
C	7/6/22	TOWN REVIEW COMMENTS
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JAY CHRYSTAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

COMMUNITY AT VILLAGE BROOK  
LIGHTING PLAN

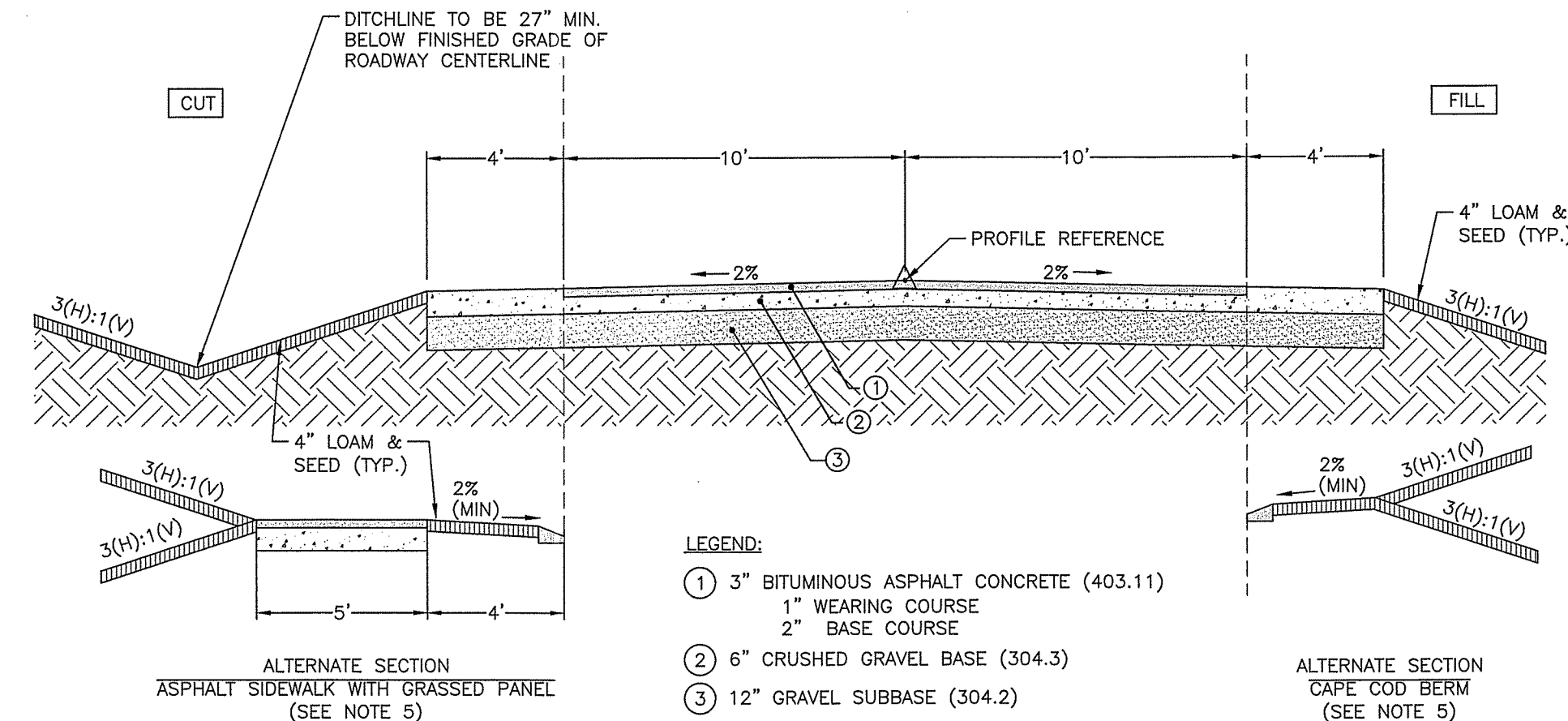
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SHEET

FILE: 3077P05B.dwg  
PROJECT: 03077.05  
SHEET NO. 9 OF 13

SCALE: 1" = 40'

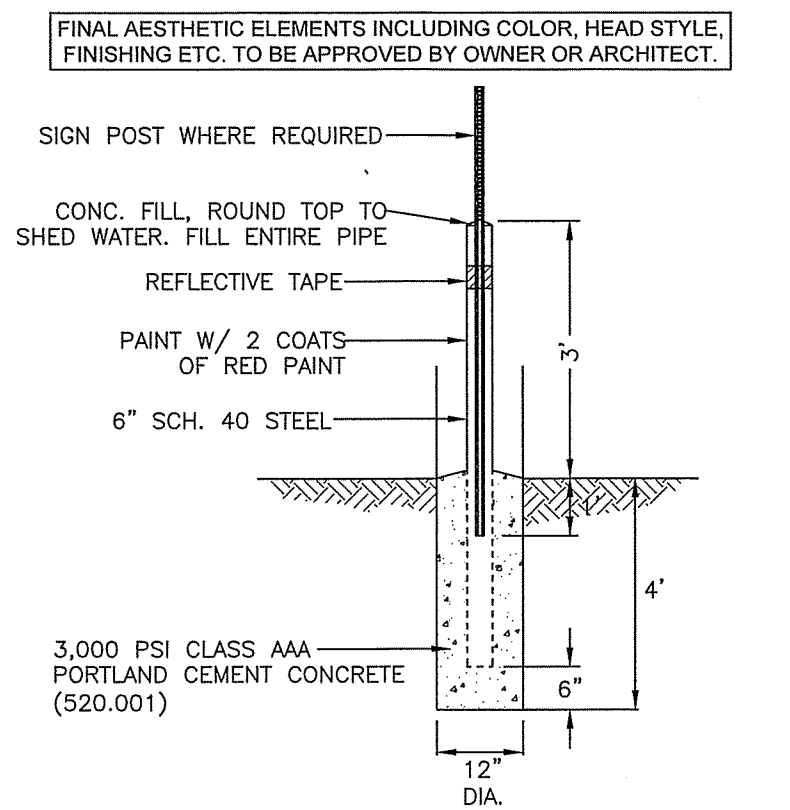
JANUARY 18, 2022



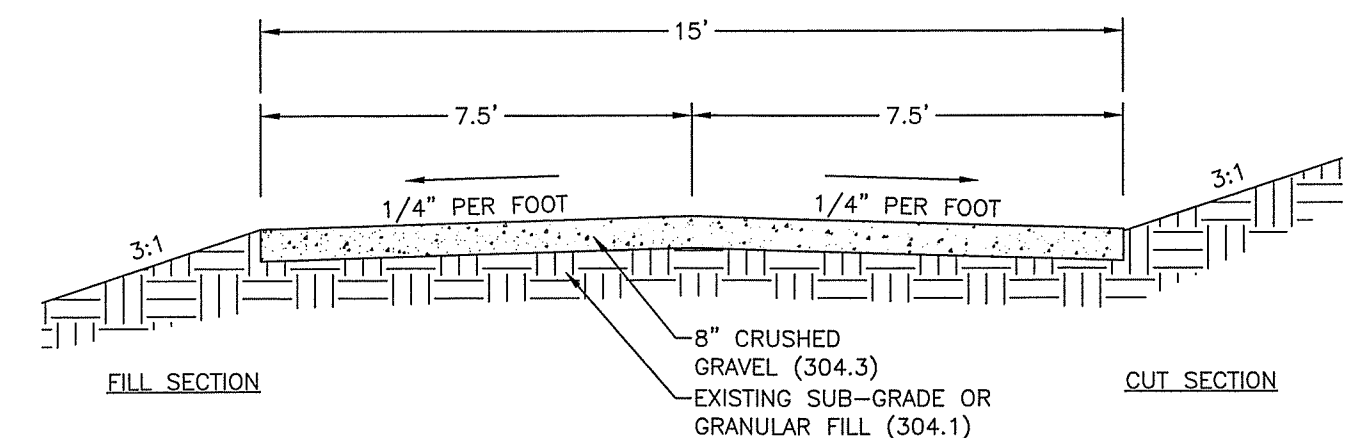


GENERAL CONSTRUCTION NOTES:

1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER FOUNDATION MATERIAL WITHIN 3' OF SUB-GRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL. COMPACTION TO BE AT LEAST 95% OF THEORETICAL WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
2. ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2016 EDITION.
3. UNDERDRAIN SHALL BE REQUIRED IN CUT SECTIONS AS DETERMINED AT THE TIME OF CONSTRUCTION. THE UNDERDRAIN PIPE SHALL:
  - 3.A. DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN.
  - 3.B. BE 6" IN DIAMETER AND PLACED IN 1-1/2" STONE.
  - 3.C. BE WRAPPED IN GEOTEXTILE FABRIC (MIRAFI 140NC OR EQUAL).
4. WHERE APPLICABLE, GRADE IS MORE THAN 5% CONVEYANCE SWALE SHALL BE LINED WITH RIPRAP (2 LAYERS, 4" STONE, 6' WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC). WHERE GRADE IS LESS THAN 5%, EROSION CONTROL FABRIC SHALL BE INSTALLED EXTENDING 3' EACH SIDE FROM SLEW CENTERLINE.
5. REFER TO THE SITE LOCATION PLAN FOR DETAILED INFORMATION ON THE LOCATION OF ALTERNATE SECTIONS. REFER TO TYPICAL SECTION DETAILS FOR ADDITIONAL CONSTRUCTION SPECIFICATIONS.



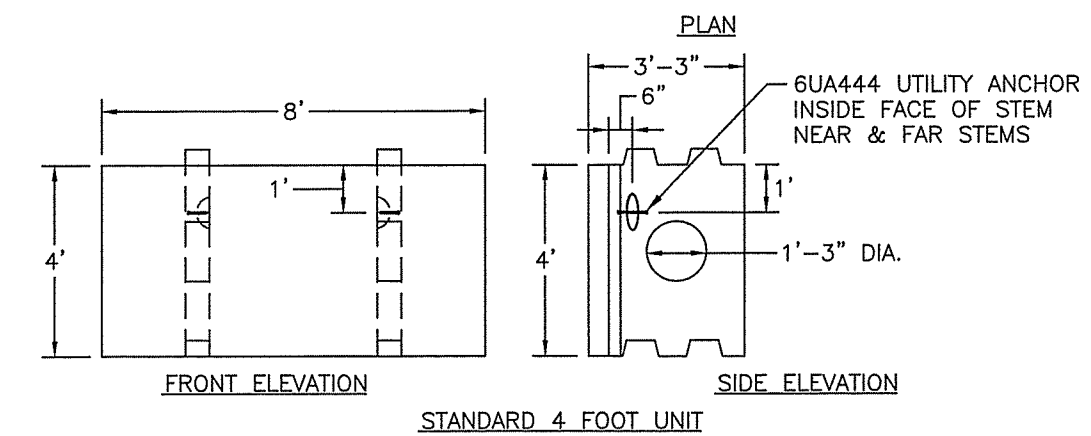
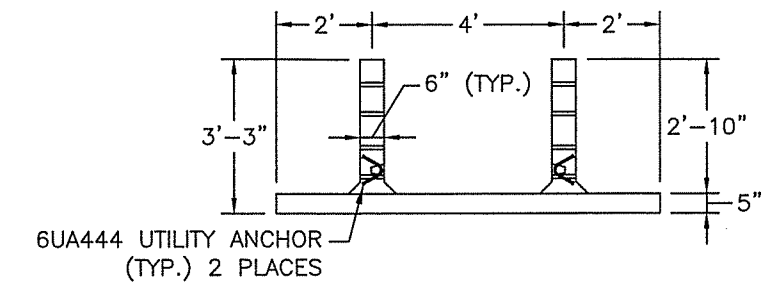
**FIXED BOLLARD & BASE**  
(NHDOT ITEM NO.)



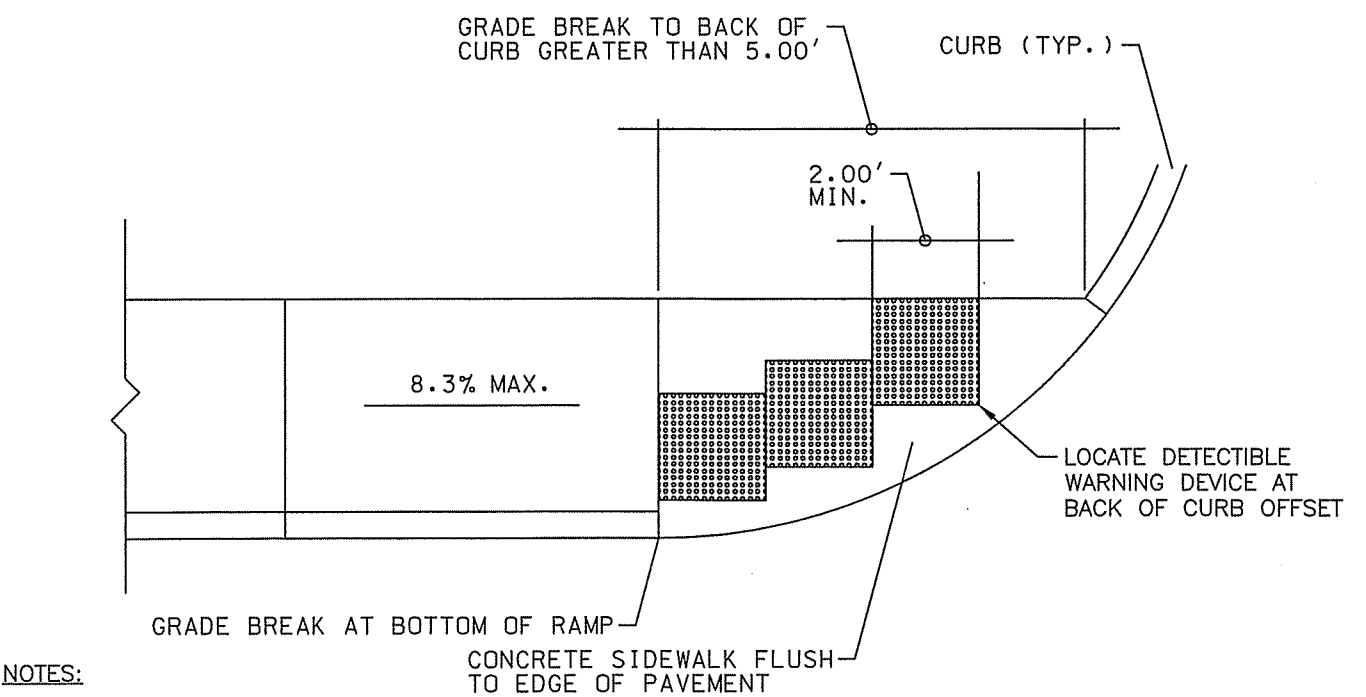
**GRAVEL ACCESS ROAD**  
(NHDOT ITEM NO.)

NOTES:

1. ONCE THE FINAL DESIGN IS COMPLETED IT SHALL BE APPROVED BY THE TOWN OF BROOKLINE DURING CONSTRUCTION.



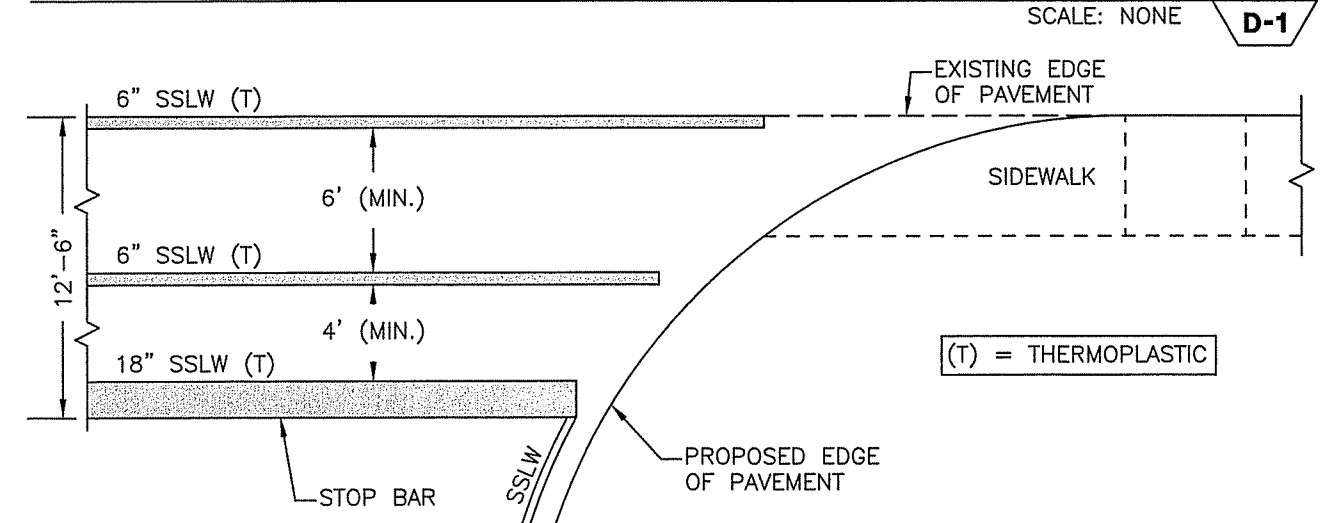
**UWALL RETAINING WALL SYSTEM**  
CSI CONCRETE SYSTEMS, INC.



NOTES:

1. DETECTABLE WARNINGS SHALL BE PROVIDED WHEREVER A CURB RAMP CROSSES A VEHICULAR WAY.
2. DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
3. DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES – EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
4. DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705.1. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.
5. SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2" IN WIDTH OR 6" ALONG THE ROADWAY EDGE/CURB. THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGE OF THE RADIUS
6. DETECTABLE WARNING PANELS SHALL BE CAST IRON WITH NO SURFACE COATING AND SHALL BE ALLOWED TO TRANSITION TO THEIR NATURAL PATINA.

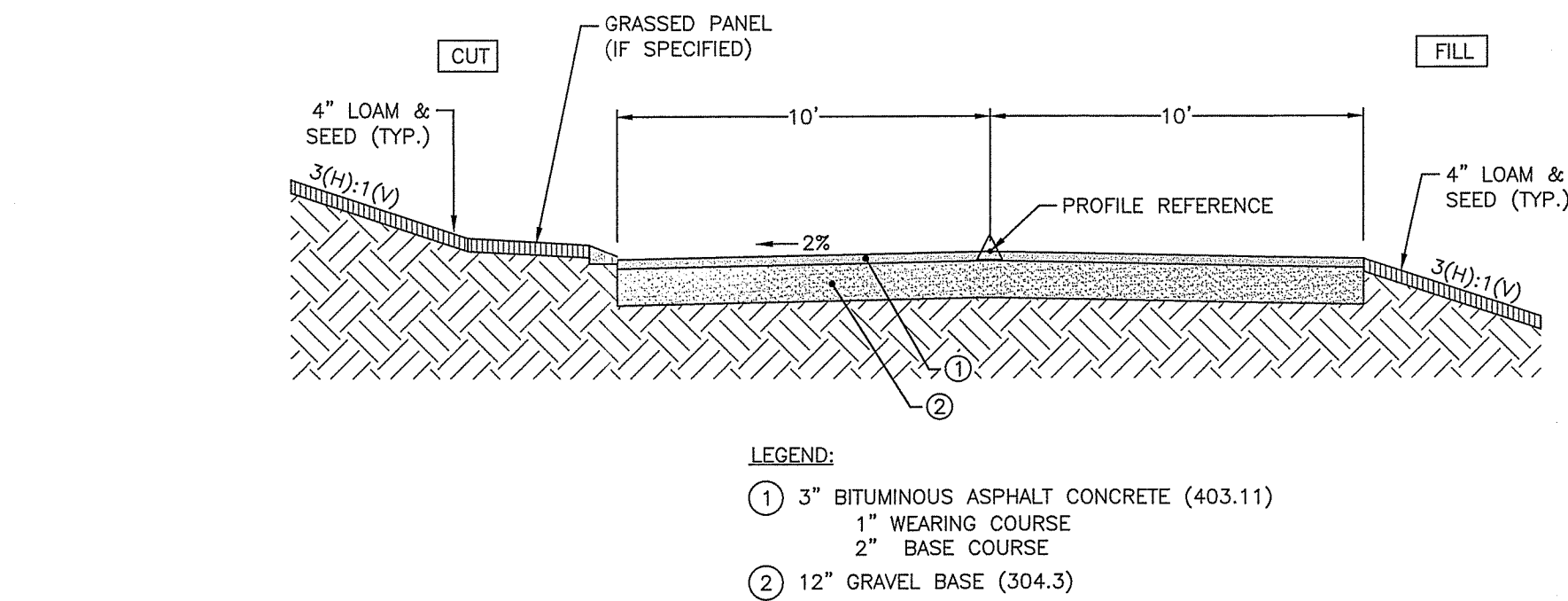
### CURB RAMP



NOTES:

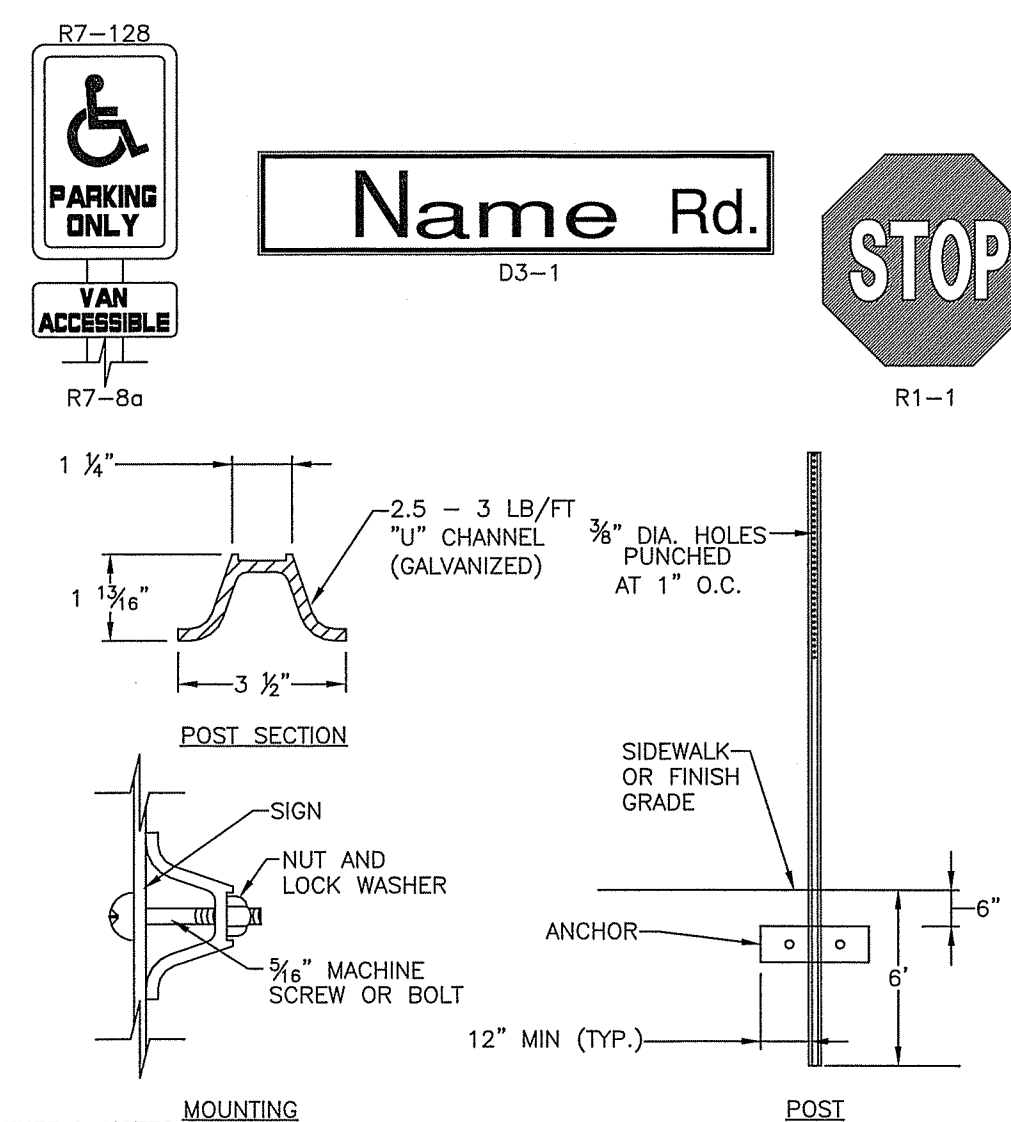
1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
2. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
3. ALL STOP BARS, WORDS, AND CROSSWALKS SHALL BE THERMOPLASTIC

### NHDOT STANDARD CROSSWALK (CONTROLLED INTERSECTION)



GENERAL CONSTRUCTION NOTES:

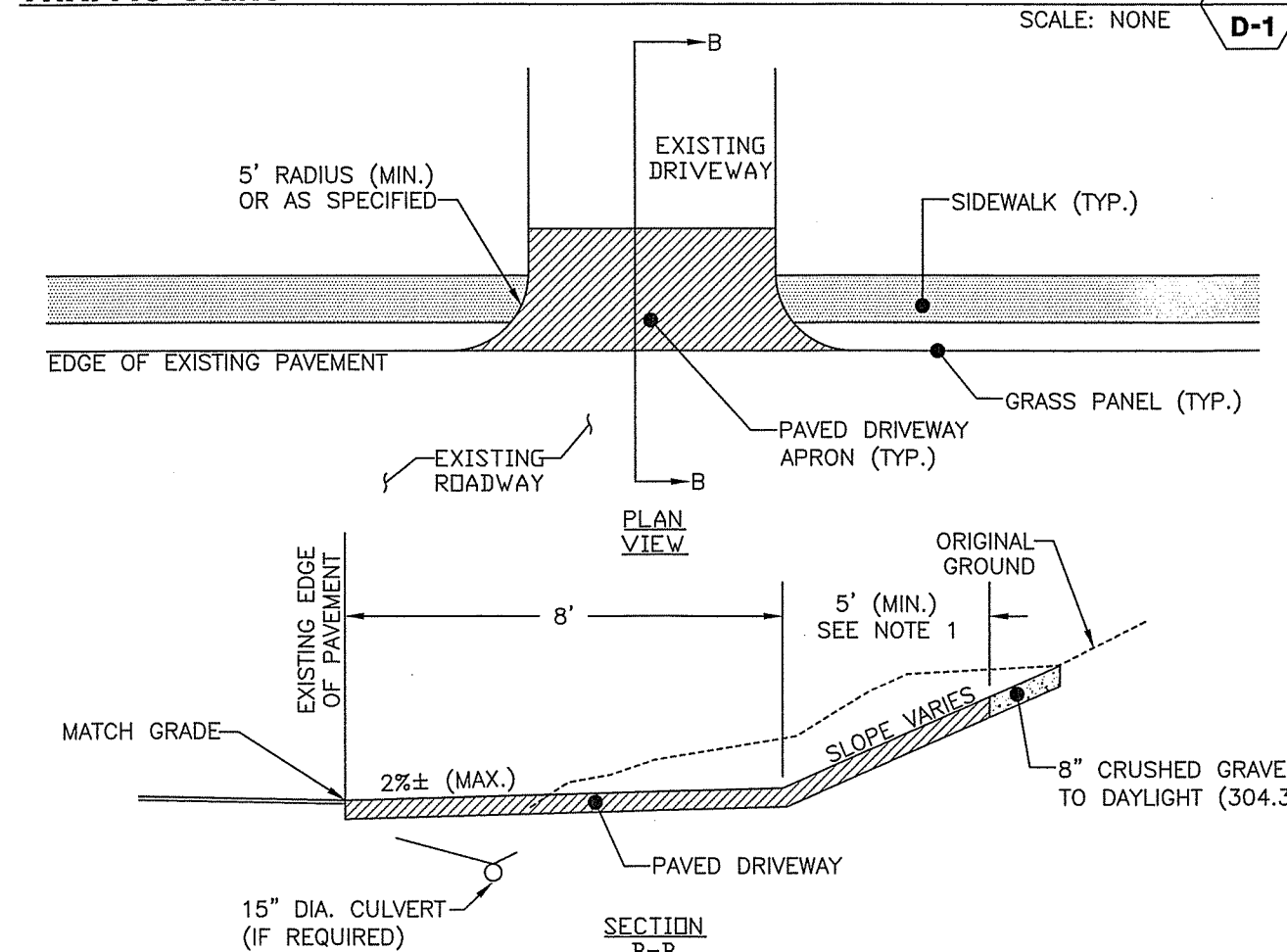
1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER FOUNDATION MATERIAL WITHIN 3' OF SUB-GRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
2. ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2016 EDITION.
3. UNDERDRAIN SHALL BE REQUIRED IN CUT SECTIONS AS DETERMINED AT THE TIME OF CONSTRUCTION. THE UNDERDRAIN PIPE SHALL:
  - 3.A. DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN.
  - 3.B. BE 6" IN DIAMETER AND PLACED IN 1-1/2" STONE.
  - 3.C. BE WRAPPED IN GEOTEXTILE FABRIC (MIRAFI 140NC OR EQUAL).



GENERAL NOTES:

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.

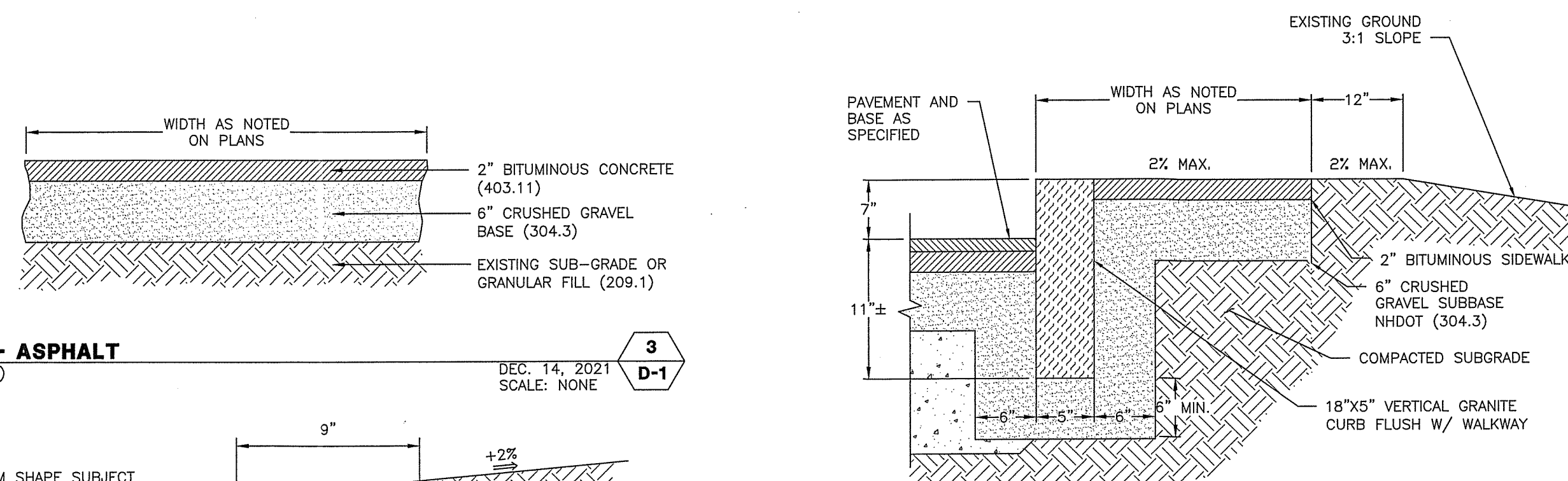
## TRAFFIC SIGNS



### DRIVEWAY CONSTRUCTION REQUIREMENTS

1. IN CASES WHERE EXISTING DRIVEWAY PAVEMENT EXTENDS BEYOND THE LIMITS INDICATED, PAVEMENT SHALL BE PROVIDED TO THE POINT OF DAYLIGHT.
2. WHERE REQUIRED, CULVERTS SHALL BE A MINIMUM OF TWELVE (12") INCHES IN DIAMETER AND SHALL BE CONSTRUCTED OF CORRUGATED METAL, REINFORCED CONCRETE, HIGH DENSITY POLYETHYLENE PIPE OR APPROVED EQUAL. THE DRIVEWAY SHALL HAVE A MINIMUM 3-FOOT SHOULDER ON EACH SIDE WHERE IT MEETS THE CULVERT.
3. HEADWALLS SHALL BE CONSTRUCTED OF STONE RUBBLE AND MORTAR, PRECAST CONCRETE OR APPROVED EQUAL AND INSTALLED ON BOTH ENDS OF THE CULVERT.

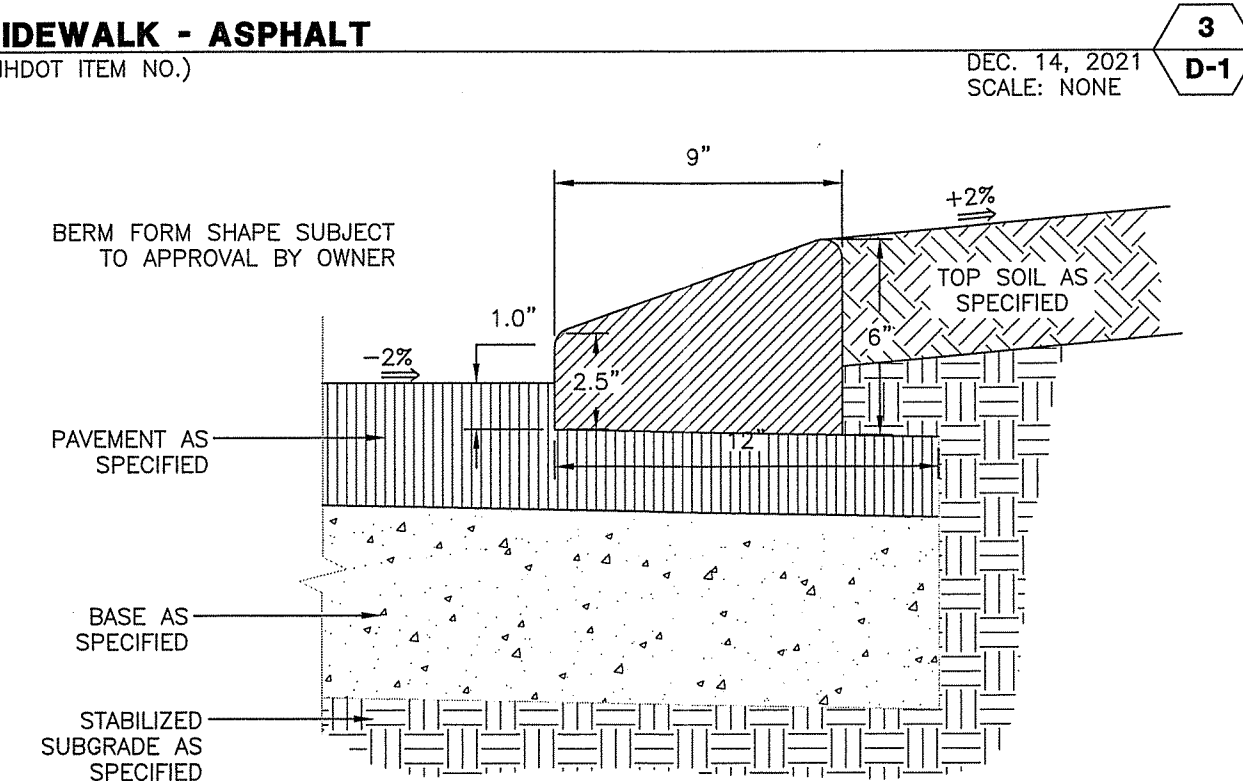
**DRIVEWAY - GRASS PANEL SIDEWALK**



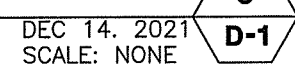
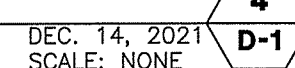
NOTES:

1. SEE SITE LAYOUT PLAN (SP-2) FOR LOCATION OF CONSTRUCTION.
2. MAXIMUM ALLOWABLE SIDEWALK SLOPE IN ALL DIRECTIONS SHALL BE IN ACCORDANCE WITH AMERICAN DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN: CROSS-SLOPE SHALL BE NO LESS THAN 1% AND NO GREATER THAN 2%.
3. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS.
4. ADJOINING STONES SHALL HAVE THE SAME ( OR APPROX.) LENGTH.
5. MINIMUM LENGTH OF CURB STONES = 3'
6. MAXIMUM LENGTH OF CURB STONES = 10'
7. REMOVE ALL UNSUITABLE MATERIAL TO THE SATISFACTION OF THE ENGINEER.
8. IN THE EVENT BEDROCK IS ENCOUNTERED, EXCAVATE BEDROCK TO A MINIMUM OF 6" BELOW THE SUB-BASE MATERIAL AND REPLACE WITH BANKRUN GRAVEL.
9. SUBGRADE MATERIAL SHALL BE SHAPED AND COMPACTED TO AN EVEN SURFACE. ALL SOFT AND YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL.

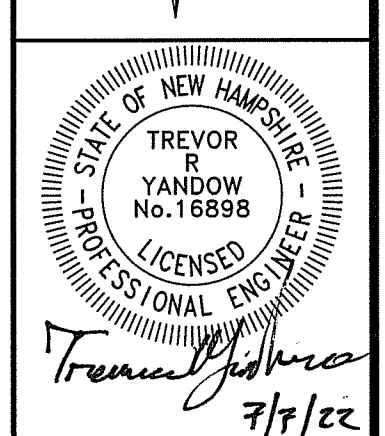
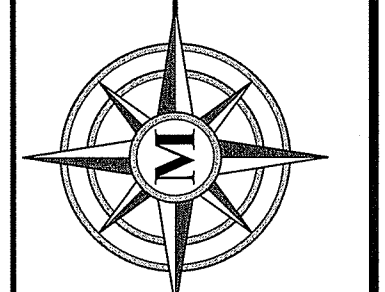
**VERTICAL GRANITE CURB - ASPHALT SIDEWALK**



**CURB - CAPE COD BERM**



**MERIDIAN**  
**LAND SERVICES, INC.**  
ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03053 TEL: 603-673-1441  
MERIDIAN.LANDSERVICES.COM FAX: 603-673-1584



REV.	DATE	DESCRIPTION	DR	CR
A	5/13/22	TOWN PR. SUBMISSION	TRY	TRY
B	6/13/22	STATE REVIEW COMMENTS	BLR	TRY
C	7/6/22	TOWN REVIEW COMMENTS	NGC	TRY
D				
E				
F				
G				
H				
I				

COMMUNITY AT VILLAGE BROOK  
CONSTRUCTION DETAILS

JAY CHRYSTAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

**D-1**  
SHEET

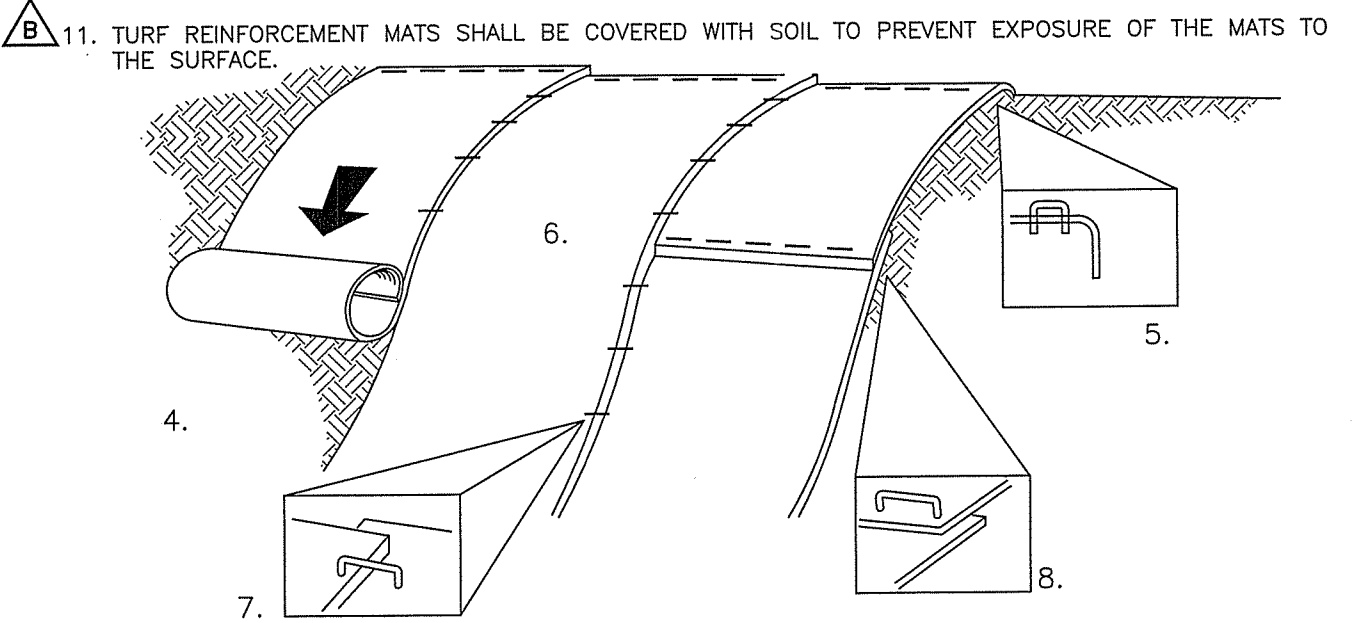
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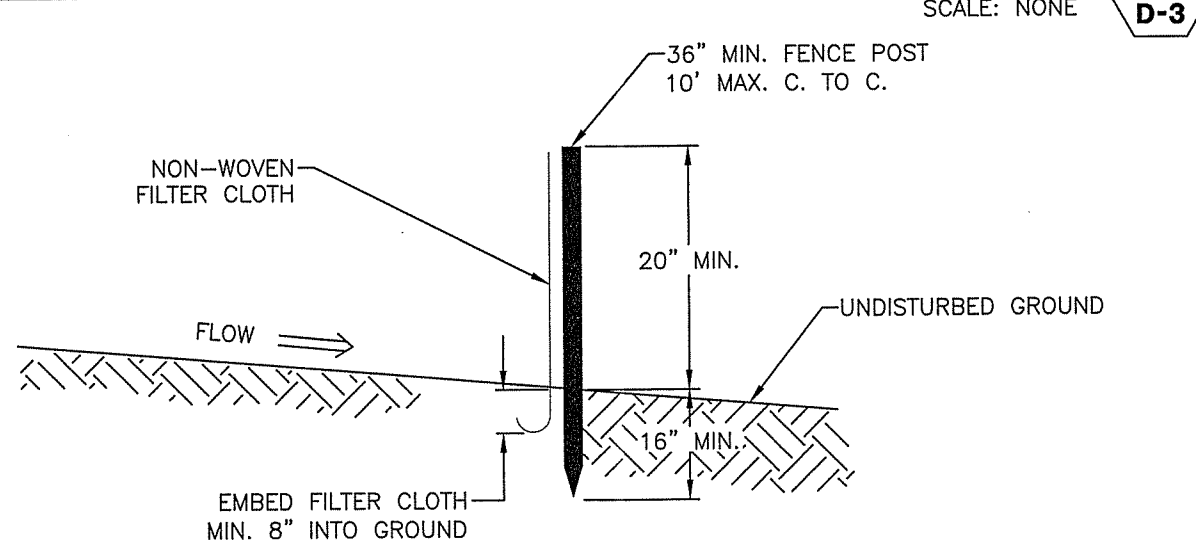




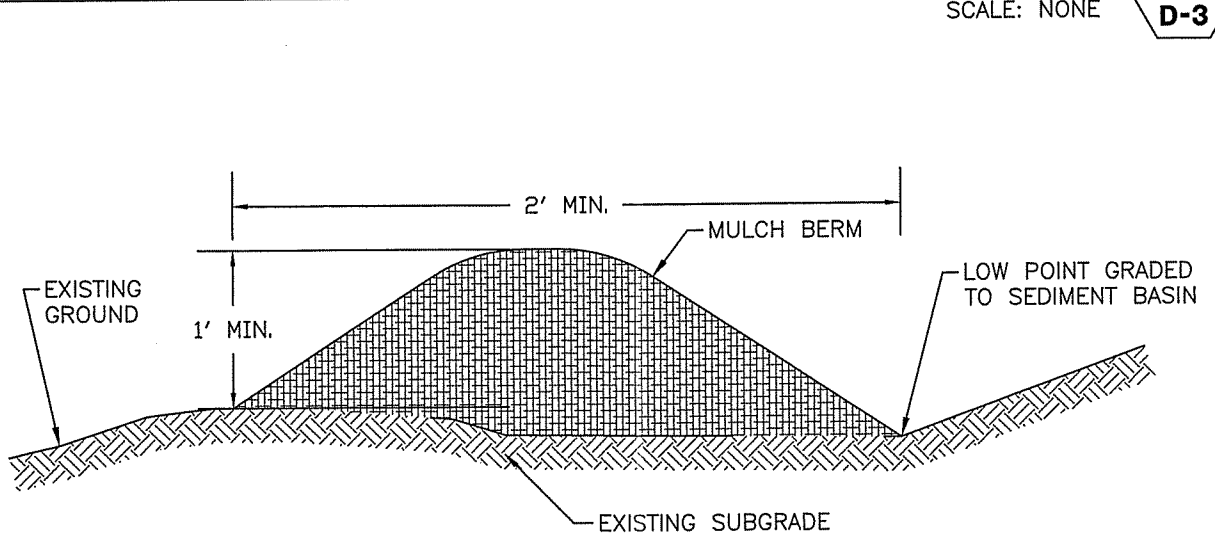
1. FABRIC SHALL BE A STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC150BN OR EQUAL.
2. THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
8. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
9. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.
10. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING, RESEEDING AND REMULCHED AS DIRECTED.



#### EROSION CONTROL BLANKET



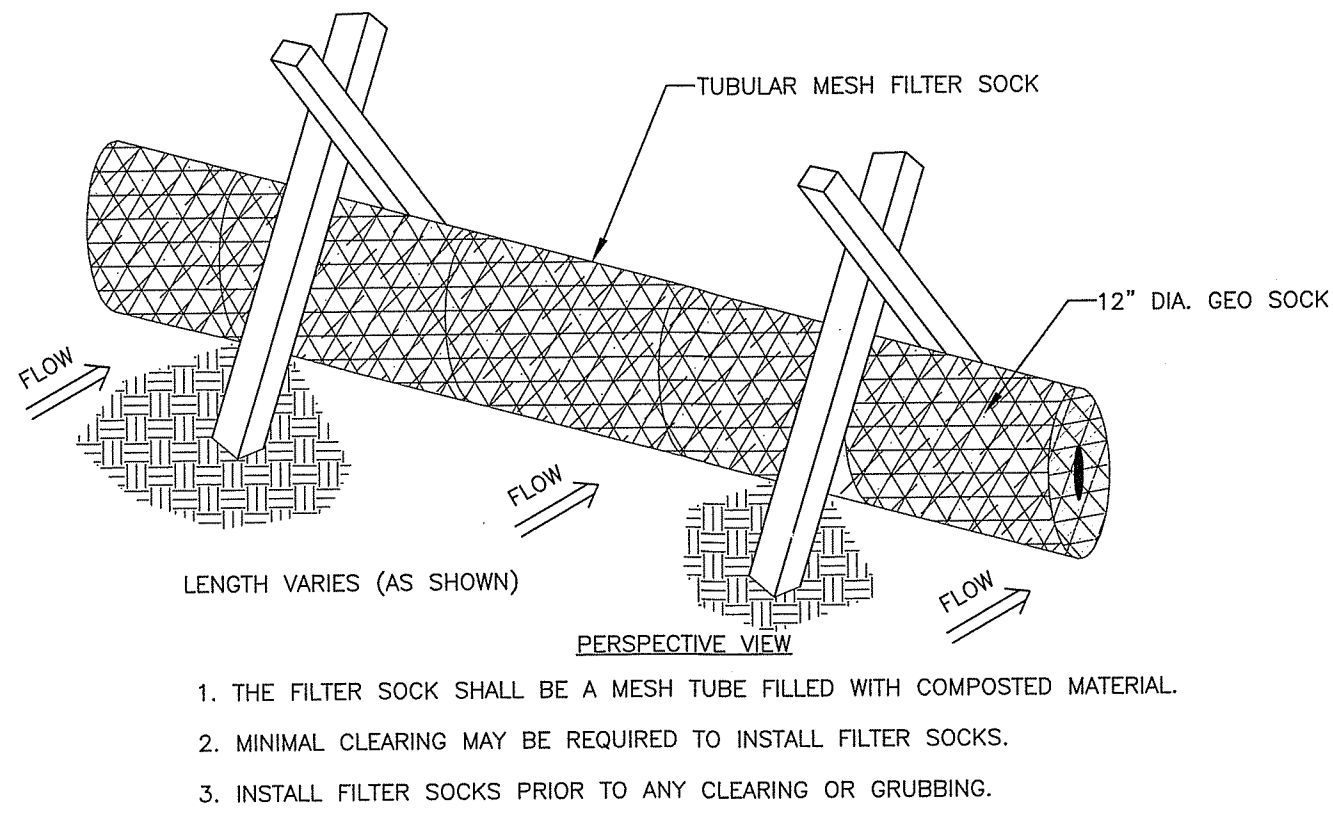
#### SILTATION FENCE



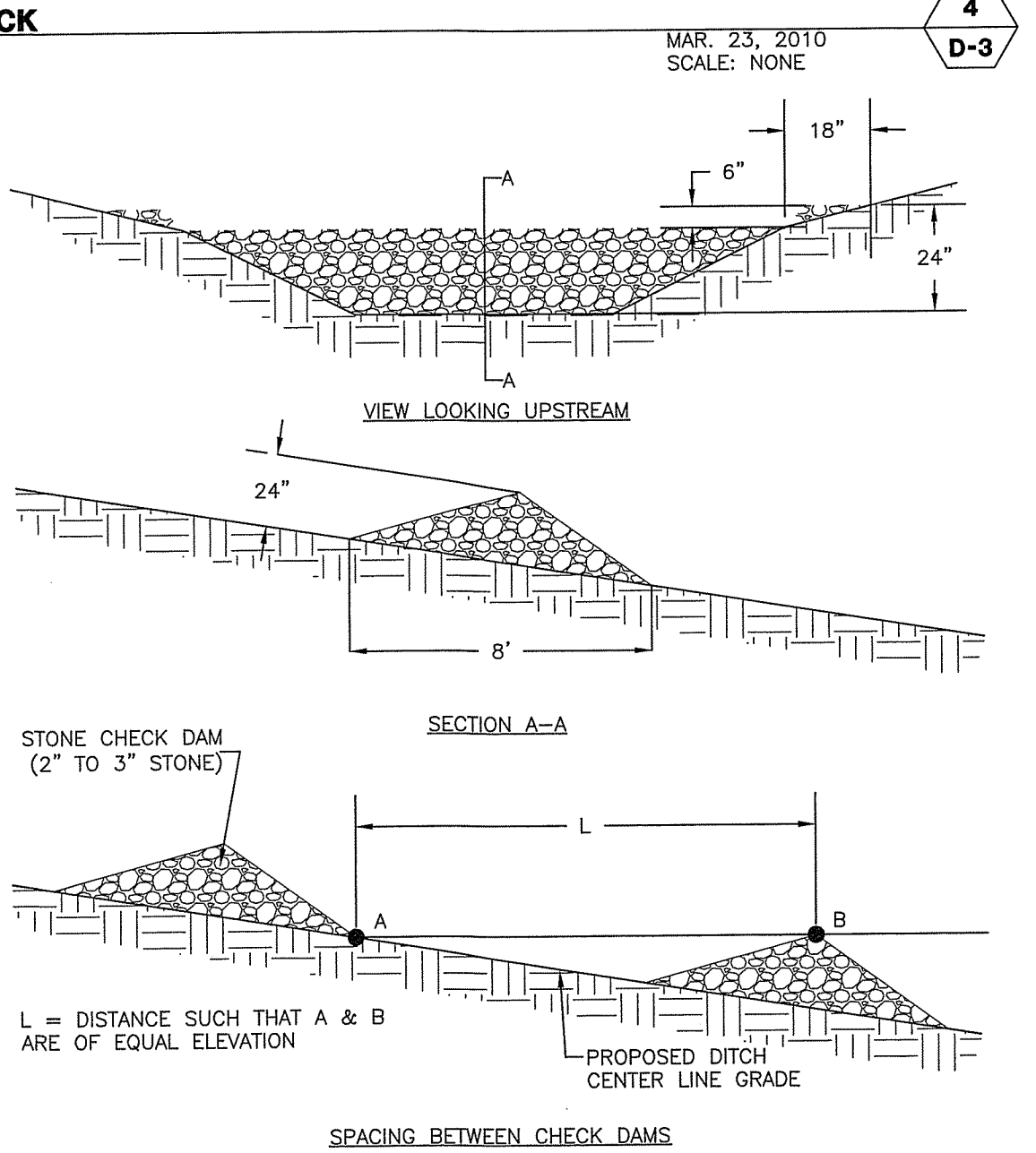
##### NOTES:

1. EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER.
2. THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65% ON A DRY WEIGHT BASIS THAT IS:
- 2.1. FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
- 2.2. NOT COMPROMISED OF WOOD CHIPS, BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS.
3. THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR SANDS.
4. HAVE A PARTICLE SIZE BY WEIGHT OF 100% PASSING A 3-INCH SORIE, 80% TO 100% PASSING A 1-INCH SCREEN, 70% TO 100% PASSING A 0.75-INCH SCREEN, AND 30% TO 75% PASSING A 0.25-INCH SCREEN
5. HAVE A PH BETWEEN 5.0 AND 8.0
6. REFER TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3 SECTION 4.2 FOR COMPLETE DETAILS.

#### TYPICAL MULCH BERM



#### SILT SOCK

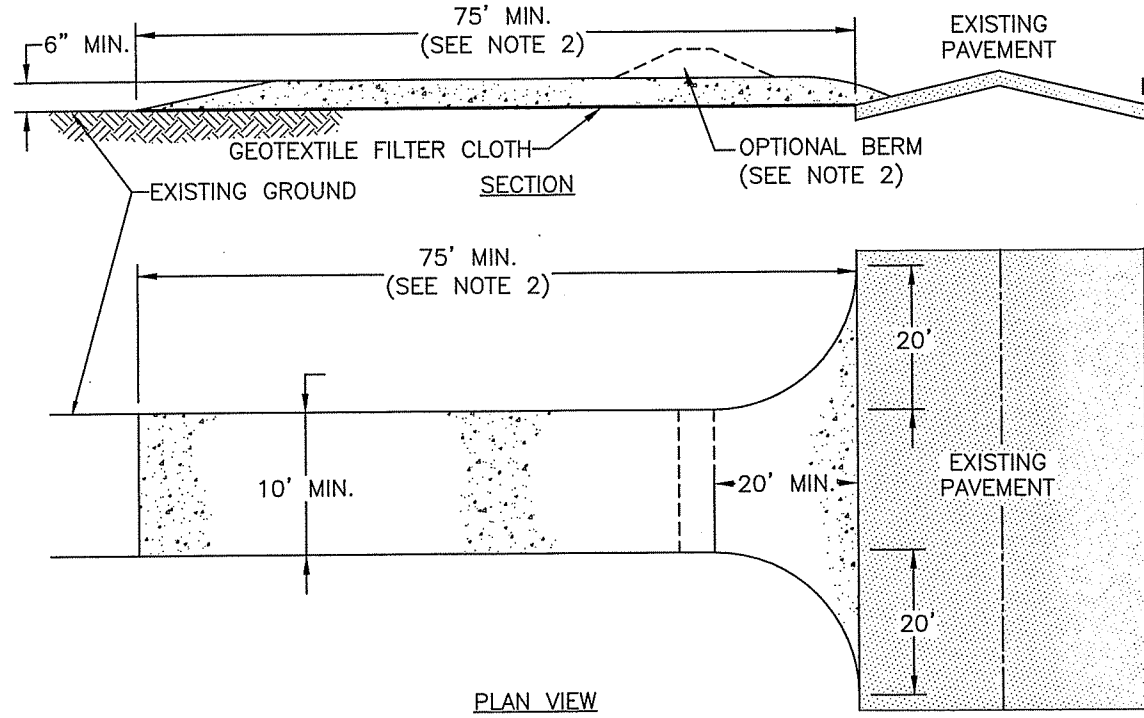


#### STONE CHECK DAM

1. TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.
2. USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME.
3. ALL ESSENTIAL GRADING SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.
4. PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.
5. A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL.
6. THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
7. HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE CONDITIONS.
8. PLANT SELECTION AND APPLICATION RATES:

SPECIES	RATE 1 (LBS./AC.)	RATE 2 (LBS./1,000 S.F.)	REMARKS
WINTER RYE	112	2.5	FALL, 8/15 TO 9/15 PLANT 1.0 INCH DEEP
OATS	80	2.0	SPRING PRIOR TO 5/15 PLANT 1.0 INCH DEEP
ANNUAL RYEGRASS	40	1.0	QUICK, SHORT DURATION GOOD APPEARANCE EARLY SPRING & FALL PLANT 0.25 INCH DEEP
PERENNIAL RYEGRASS	30	0.7	LASTS LONGER THAN ANNUAL LATE SPRING & FALL MULCHING WILL ALLOW USE ALL SEASON PLANT 0.5 INCH DEEP

#### SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS



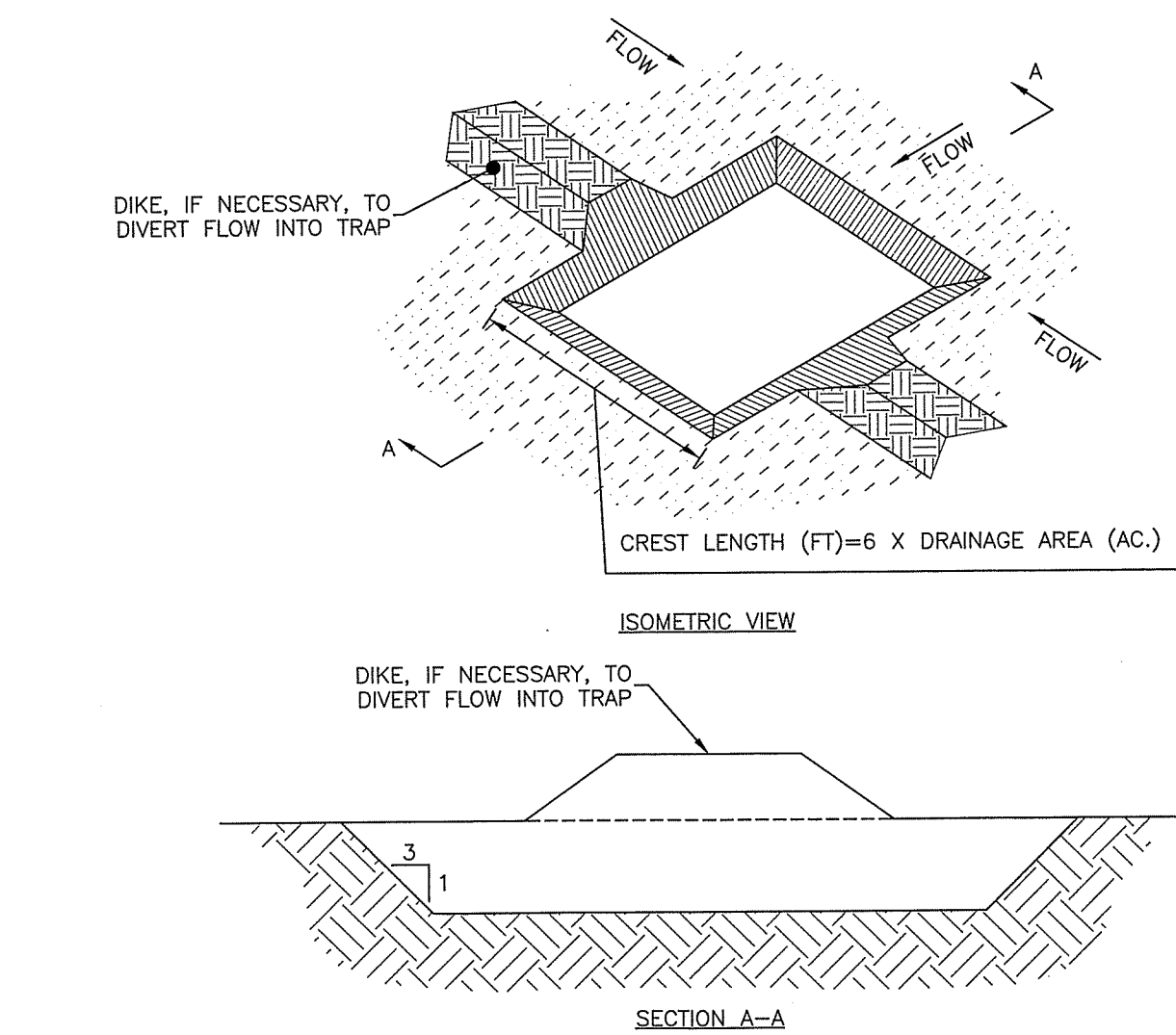
##### NOTES:

1. STONE FOR STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH CRUSHED STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE EXIT OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE EXISTING POINT OF INGRESS/EGRESS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO EXIT ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

#### STABILIZED CONSTRUCTION EXIT

1. ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.5, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

#### WINTER CONSTRUCTION



##### NOTES:

1. SEDIMENT TRAPS SHOULD BE LOCATED SO THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
2. THE TRAP SHOULD BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
3. THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHOULD BE LESS THAN 5 ACRES.
4. THE MINIMUM VOLUME OF THE TRAP SHOULD BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
5. THE SIDE SLOPES OF THE TRAP SHOULD BE 3:1 OR FLATTER, AND SHOULD BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. THE MINIMUM LENGTH-TO-WIDTH RATIO OF THE TRAP SHOULD BE 2:1 (L:W).
7. FOR CONCENTRATED FLOW ENTERING THE TRAP, ENERGY DISSIPATION AT THE POINT OF INFLOW SHOULD BE PROVIDED.
8. THE OUTLET PIPE SHOULD EXTEND THROUGH THE EMBANKMENT AT A MINIMU SLOPE OF 0.5 PERCENT.
9. REFER TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3: CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008 FOR COMPLETE INFORMATION.

##### INSTALLATION NOTES:

1. BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
2. TRAP SHOULD BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS FOR STORMWATER CONTROL.
3. EMBANKMENT MATERIAL SHOULD CONSIST OF DEBRIS FREE SOIL, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT PASSING THE NO. 200 SIEVE.
4. EMBANKMENT SHALL BE COMPACTED TO AT MINIMUM 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
5. PIPE SCH 40 OR GREATER SHOULD BE USED.

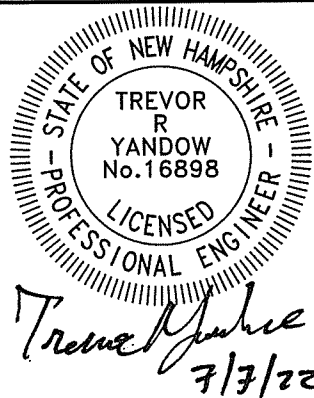
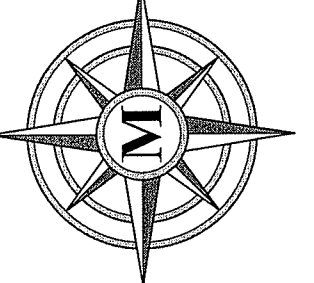
##### MAINTENANCE NOTES:

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATION CONDITION. MAINTENANCE SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs WITHIN 24 HOURS OF A STORM CAUSING SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. REPAIR OR REPLACE BMPs UPON FAILURE.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.
5. THE TRAP IS TO REMAIN IN PLACE UNTIL THE DISTURBED AREA HAS BEEN STABILIZED AND GRASS COVER IS ACCEPTED BY LOCAL JURISDICTION.

#### EARTH OUTLET SEDIMENT TRAP

OCTOBER 22, 2018  
SCALE: NONE

**MERIDIAN**  
LAND SERVICES, INC.  
ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL: 603-672-1441  
MERIDIANLANDSERVICES.COM FAX: 603-672-1844



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COMMUNITY AT VILLAGE BROOK  
EROSION & SEDIMENTATION  
CONTROL DETAILS

JAY CHRYSAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

**D-3**  
SHEET

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PAGE: 1  
FILE: 3077.05

**TITLE: JW & RA Chrystal Rev. Trust 1999**  
**TOWN: Brookline**

TEST PIT NO.: 1  
DATE: 7-6-21

TEST PIT NO.: 2  
DATE: 7-6-21

WATER: none      S.H.W.: 86"      ROOTS 40"  
LEDGE: none      HARDPAN: none      PERCOLATION  
RATE: 2      MIN./IN. AT 30"      DEPTH  
DATE: 7-6-21  
INSPECTED BY: T.E.C.      WITNESSED BY:

WATER: None S.H.W.: 78" ROOTS: 74"  
LEDGE: none HARDPAN: none  
PERCOLATION RATE: 2 MIN./IN. AT 34" DEPTH  
DATE: 7-6-21  
INSPECTED BY: T.E.C. WITNESSED BY:

TEST PIT NO.: 3  
DATE: 7-6-21

TEST PIT NO.: 4  
DATE: 7-6-21

WATER: none S.H.W.: 48" ROOTS: 40"  
LEDGE: none HARDPAN: none  
PERCOLATION RATE: 4 MIN./IN. AT 28" DEPTH  
DATE: 7-6-21  
INSPECTED BY: T.E.C. WITNESSED BY:

WATER: none S.H.W.: 48" ROOTS: 40"  
LEDGE: none HARDPAN: none  
PERCOLATION RATE: 2 MIN./IN. AT 32" DEPTH  
DATE: 7-6-21  
INSPECTED BY: T.E.C. WITNESSED BY:



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FILE: 3077.05

TITLE: JW & RA Chrystal Rev. Trust 1999  
TOWN: Brookline

TEST PIT NO.: 5  
DATE: 7-6-21

TEST PIT NO.: 6  
DATE:

WATER: none S.H.W.: 72" ROOTS: 42"  
LEDGE: none HARDPAN: none  
PERCOLATION RATE: 2 MIN./IN. AT 41" DEPTH  
DATE: 7-6-21  
INSPECTED BY: T.E.C. WITNESSED BY:

WATER:	S.H.W.:	ROOTS.
LEDGE:	HARDPAN:	
PERCOLATION RATE:	MIN./IN. AT	DEPTH
DATE:		
INSPECTED BY: T.E.C.		WITNESSED BY:

TEST PIT NO.: 7  
DATE:

TEST PIT NO.: 8  
DATE:

DEPTH	DESCRIPTION	
WATER:	S.H.W.:	ROOTS
LEDGE:	HARDPAN:	
PERCOLATION RATE:	MIN./IN. AT	DEPTH
DATE:		
INSPECTED BY: T.E.C.	WITNESSED BY:	



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FILE: 3077.05

TITLE: JW & RA Chrystal Rev. Tr. 8-5-21  
TOWN: Brookline

**BORING NO.: 1**  
**DATE: 6-25-21**

**BORING NO.: 2**  
**DATE: 6-25-21**

WATER: 35.5	S.H.W.: 34'	ROOTS
LEDGE:	HARDPAN:	PERCOLATION
RATE:	MIN./IN. AT	DEPTH
DATE:		
INSPECTED BY: T.E.C.		WITNESSED BY:

WATER: 40' S.H.W.: 38' ROOTS:  
LEDGE: HARDPAN:  
PERCOLATION RATE: MIN./IN. AT DEPTH  
DATE:  
INSPECTED BY: T.E.C. WITNESSED BY:

**BORING NO.: 3**  
**DATE: 6-25-21**

TEST PIT NO.: 4  
DATE:

DEPTH	DESCRIPTION	
WATER:	S.H.W.:	ROOTS:
LEDGE:	HARDPAN:	
PERCOLATION RATE:	MIN./IN. AT	DEPTH
DATE:		
INSPECTED BY: T.E.C.		WITNESSED BY:

REV.	DATE	DESCRIPTION	DR	CK
A	5/13/22	TOWN PB SUBMISSION	TRY	
B	6/13/22	STATE REVIEW COMMENTS	BLR	TRY
C	7/6/22	TOWN REVIEW COMMENTS	NCG	TRY
D				
E				
F				
G				
H				
I				

COMMUNITY AT VILLAGE VROOK  
SUBSURFACE TEST PIT AND  
GEOTECHNICAL BORING LOGS

FEBRUARY 10, 2022

JAY CHRYSTAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

SCALE: NONE

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PROJECT	03077.05
SHEET NO.	13 OF 13