

# COMMUNITY AT VILLAGE BROOK

PREPARED FOR:  
**VILLAGE BROOK, LLC.**  
TAX MAP H PARCEL 42  
23 MAIN STREET  
BROOKLINE, NEW HAMPSHIRE  
REVISED AUGUST 9, 2022

## MUNICIPAL CONTACTS:

### TOWN PLANNER

MICHELE DECOTEAU  
1 MAIN STREET  
BROOKLINE, NH 03033  
(603) 673-8855 x215

### FIRE DEPARTMENT

CHARLIE COREY, CHIEF  
4 BOND STREET  
PO BOX 660  
BROOKLINE, NH 03033  
(603) 672-8531 (NON EMERGENCY)

### POLICE DEPARTMENT

WILLIAM QUIGLEY III, CHIEF  
3 POST OFFICE DRIVE  
PO BOX 341  
BROOKLINE, NH 03033  
(603) 673-3755 (NON-EMERGENCY)

### BUILDING INSPECTOR

STEVE SACHERSKI  
1 MAIN STREET  
BROOKLINE, NH 03033  
(603) 673-8855 x212

## PROFESSIONAL CONTACTS:

### CIVIL ENGINEER

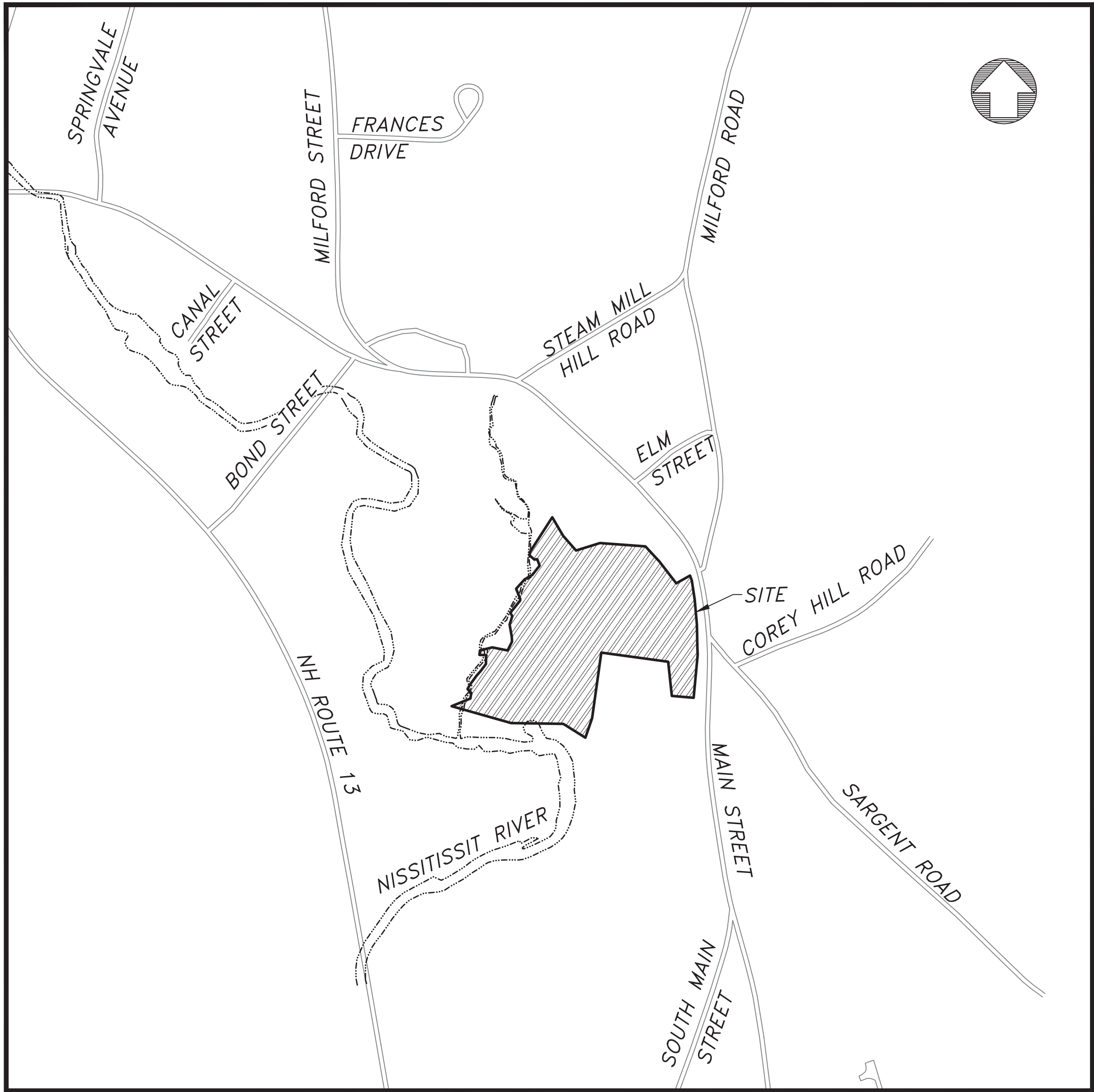
DOUGLAS V BRODEUR, PE  
MERIDIAN LAND SERVICES, INC.  
PO BOX 118  
MILFORD, NH 03055  
(603) 673-1441

### LAND SURVEYOR

RANDOLPH A HAIGHT, LLS  
MERIDIAN LAND SERVICES, INC.  
PO BOX 118  
MILFORD, NH 03055  
(603) 673-1441

### WETLAND & SOIL SCIENTIST

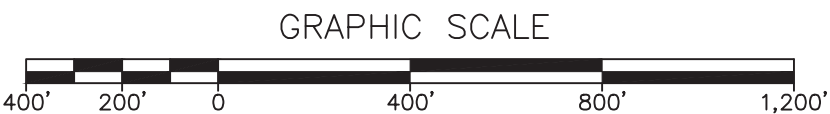
THOMAS C CARR, CWS/CSS  
MERIDIAN LAND SERVICES, INC.  
PO BOX 118  
MILFORD, NH 03055  
(603) 673-1441



SCALE 1"=400'

## MERIDIAN DESIGN PROFESSIONALS:

LLS	PE	CWS	CSS
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## SHEET INDEX:

1	COVER
2	GENERAL NOTES & LEGEND
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## PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

- BROOKLINE ZONING BOARD OF ADJUSTMENT VARIANCE APPROVAL (CASE 439A).
- BROOKLINE PLANNING BOARD NON-RESIDENTIAL SITE PLAN (NRSP), PENDING.
- NHDES ALTERATION OF TERRAIN PERMIT, PENDING.
- NHDES CONSTRUCTION APPROVAL (SEPTIC), PENDING.
- NHDOT DRIVEWAY PERMIT, PENDING
- US EPA CONSTRUCTION GENERAL PERMIT (PROGRAMMATIC)

APPROVED BY BROOKLINE PLANNING BOARD

ON: \_\_\_\_\_ CERTIFIED BY  
CHAIRMAN: \_\_\_\_\_ AND  
SECRETARY: \_\_\_\_\_ .

**APPLICANT:**  
VILLAGE BROOK, LLC.  
14 BEN FARNSWORTH ROAD  
BROOKLINE, NH 03033

**OWNER:**  
FELIX J. AND ELEANOR MONIUS  
PO BOX 52  
23 MAIN STREET  
BROOKLINE, NH 03033

**Issued For:** REVIEW  
AUGUST 10, 2022



D	8/9/22	TOWN/STATE REVIEW COMMENTS	--	TRY	TRY
C	7/6/22	TOWN REVIEW COMMENTS	--	JJA	TRY
B	6/13/22	STATE REVIEW COMMENTS	--	BLR	TRY
A	5/13/22	TOWN PB SUBMISSION	--	TRY	TRY
REV.	DATE	DESCRIPTION	C/O	DR	CK









NOTES:

1. THE OWNERS OF RECORD OF TAX MAP PARCEL H-42 ARE FELIX J. & ELEANOR MONIUS - 23 MAIN STREET, BROOKLINE, N.H. DEED REFERENCES ARE VOL. 1627 PG. 295 DATED NOV. 28, 1960 AND VOL. 1914 PG. 265 DATED NOV. 1, 1966, IN THE H.C.R.D. APPLICANT/DEVELOPER IS JAY CHRYSAL, 14 BEN FARNSWORTH RD., BROOKLINE, NH 03033.

2. THE PURPOSE OF THIS PLAN IS DEFINE A 17 UNIT HOUSING FOR OLDER PERSONS DEVELOPMENT ON LOT H-42, AS SHOWN.

3. H-42 DENOTES TAX MAP PAGE AND PARCEL NUMBER.

4. THE TOTAL AREA OF THE SITE IS 13.15± ACRES OR 572,900± SQ.FT.

4. THE PERIMETER OF LOT H-42 & IS THE RESULT OF A BOUNDARY SURVEY BY THIS OFFICE.

5. THE WETLANDS SHOWN WERE DELINEATED BY CERTIFIED WETLANDS SCIENTIST THOMAS E. CARR, CWS, FROM THIS OFFICE, IN AUGUST, 2021, IN ACCORDANCE WITH "CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, DATED JANUARY 1987".

6. THE NISSITISSIT RIVER AND ABUTTING BUILDINGS SHOWN WERE DEVELOPED FROM THE 2010 NEW HAMPSHIRE GRANIT AERIAL PHOTOGRAPHY, ON FILE AT NEW HAMPSHIRE GRANIT.

7. ZONING FOR THE SITE IS RESIDENTIAL-AGRICULTURAL. MINIMUM HOPD REQUIREMENTS ARE: MINIMUM AREA-10 CONTIGUOUS ACRES, MINIMUM FRONTAGE-50.00'. MINIMUM FRONT SETBACK IS 30', MINIMUM PERIMETER BUILDING SETBACK IS 75' WITH A MINIMUM OF 25' BETWEEN SINGLE STORY BUILDINGS. MINIMUM OPEN SPACE REQUIREMENTS ARE: 20% OF THE TOTAL TRACT AREA WITH 55% OF THE REQUIRED OPEN SPACE BEING UPLAND WITH SLOPES LESS THAN 25%. 50% OF THE MINIMUM REQUIRED OPEN SPACE AREA SHALL BE AVAILABLE & MANAGED FOR THE PASSIVE OR ACTIVE RECREATIONAL ACTIVITIES OF THE RESIDENTS. THIS AREA MAY CONSIST OF WALKING TRAIL, INFORMAL MEETING AREAS, GARDENS, ACTIVE RECREATION AREAS, OR OTHER RECREATIONAL AMENITIES.

8. OPEN SPACE REQUIRED IS 20% OF TRACT TOTAL (13.15+/- ACRES) OR 2.63+/- ACRES, PROVIDED IS 6.42+/- ACRES. 55% OF THE MINIMUM OPEN SPACE OR 1.62+/- ACRES IS REQUIRED TO BE OUTSIDE OF 50' BUFFER, 2.2+/- ACRES PROVIDED. LOT DENSITY ALLOW IS 1 UNIT PER .5 ACRE OF CONTIGUOUS UPLAND WITH SLOPES UNDER 25%, SITE HAS 10.7 +/- ACRES OF NON-STEEP UPLAND; THEREFORE 21 UNITS ARE ALLOWED WITH 17 UNITS PROPOSED.

9. THE SITE LIES PARTIALLY WITHIN THE FIRM 1% ANNUAL CHANCE OF FLOOD HAZARD, PARTIALLY WITHIN THE N.H. SHORELAND PROTECTION DISTRICT AND ENTIRELY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT.

SOILS INFORMATION.

DeA DEERFIELD LOAMY FINE SAND, 0 TO 3% SLOPES  
HsA HICKLEY LOAMY SAND, 0 TO 8% SLOPES  
HsB HICKLEY LOAMY SAND, 3 TO 8% SLOPES  
HsD HICKLEY LOAMY SAND, 15 TO 35% SLOPES  
Rp RIPPOWAM FINE SANDY LOAM, NEARLY LEVEL

THE SOILS INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM U.S.D.A.S.C.S. SOIL SURVEY OF HILLSBOROUGH COUNTY, EASTERN PART DATED OCT., 1981.

TOPOGRAPHIC INFORMATION.

THE TOPOGRAPHY SHOWN IS THE RESULT OF AN ONSITE TOPOGRAPHIC SURVEY BY THIS OFFICE, DATUM IS NGVD 1929.

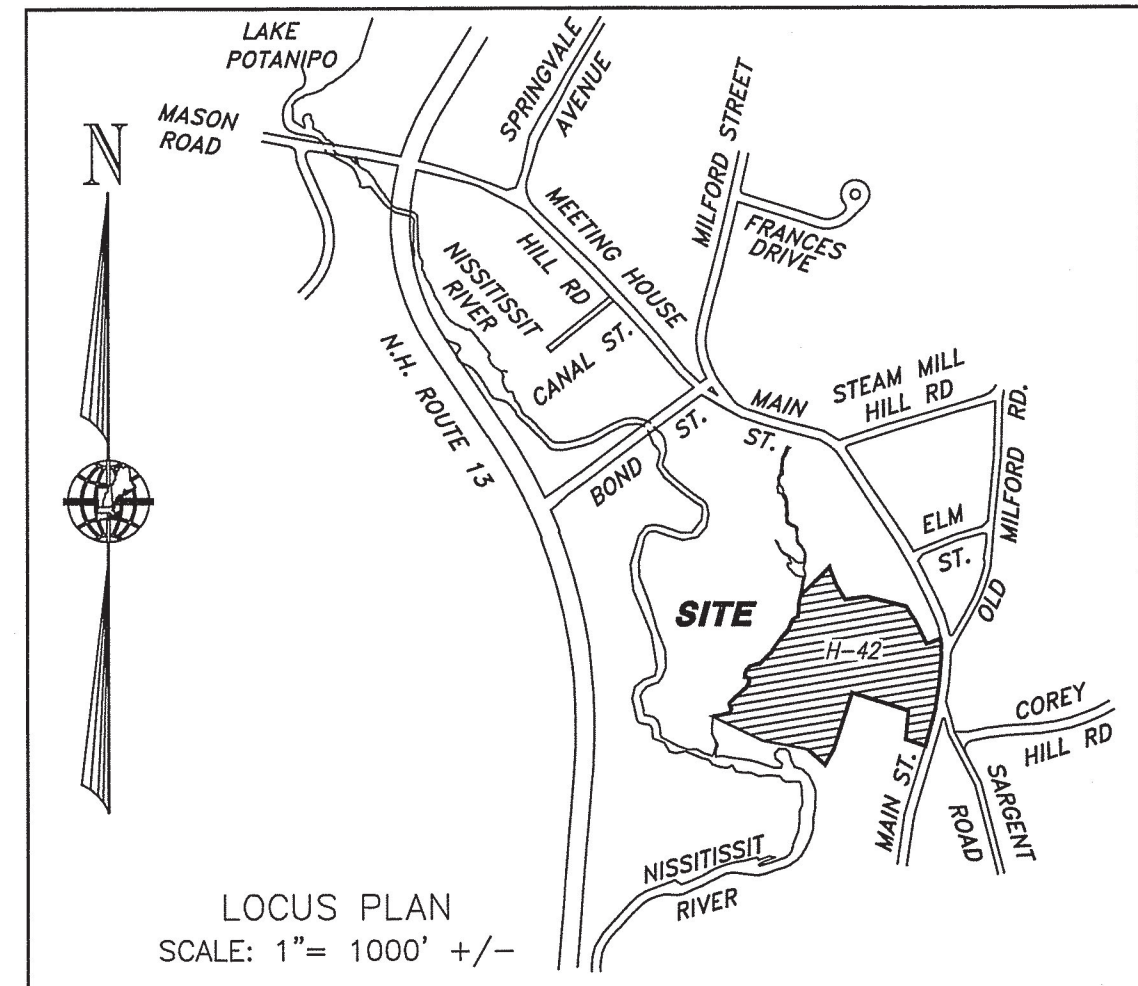
CERTIFICATION.

"I HEREBY CERTIFY THAT LOT H-42 IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE AND HAVE A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE LOT H-42

DATE: 7-7-22

LEGEND:

RIGHT-OF-WAY LINE  
BOUNDARY LINE  
ABUTTING LOT LINE  
STONE WALL  
EDGE OF WETLANDS  
BUILDING SETBACK LINE  
I.PIN/D.H.(TBS)  
G.B.(TBS)  
I.P.(F) IRON PIPE FOUND  
I.PIN(F) IRON PIN FOUND  
D.H.(F) DRILL HOLE FOUND  
G.B.(F) GRANITE BOUND FOUND  
D.H.(S) DRILL HOLE SET



REFERENCE PLANS:

- "LOT LINE REVISION PLAN - TAX MAP H, PARCELS 36, 42 & 43 - LAND OF - NISSITISSIT RIVER = LAND TRUST - LAND OF - FELIX J. & - ELEANOR MONIUS - AND LAND OF - TOWN OF BROOKLINE - PREPARED FOR - JAY CHRYSAL - 23 MAIN STREET - BROOKLINE, NH", SCALE: 1"=80', DATED FEBRUARY 22, 2022, REVISED THROUGH 4/27/22 BY MERIDIAN LAND SERVICES, INC., TO BE RECORDED.
- "MAIN STREET (NH ROUTE 130) DRAINAGE - BROOKLINE, NEW HAMPSHIRE - TOWN OF BROOKLINE" SCALE: AS SHOWN, DATED DEC. 27, 1999, REVISED THROUGH 2-01-00 BY THIS OFFICE.
- "FIRM - FLOOD INSURANCE RATE MAP - HILLSBOROUGH COUNTY - NEW HAMPSHIRE - (ALL JURISDICTIONS) - PANEL 610 OF 701" MAP NUMBER 33011C0610D, EFFECTIVE DATE: SEPTEMBER 25, 2009, SCALE: 1"=1000', BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

APPROVED BY BROOKLINE PLANNING BOARD

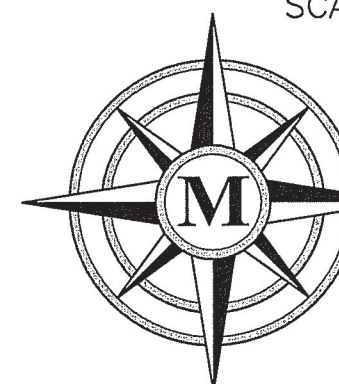
ON: \_\_\_\_\_ CERTIFIED BY  
CHAIRMAN: \_\_\_\_\_ AND  
SECRETARY: \_\_\_\_\_

EXISTING CONDITIONS PLAN  
HOUSING FOR OLDER PERSONS DEVELOPMENT  
TAX MAP H, PARCEL 42  
LAND OF

FELIX J. &  
ELEANOR MONIUS

PREPARED FOR  
JAY CHRYSAL  
23 MAIN STREET  
BROOKLINE, NEW HAMPSHIRE

SCALE: 1" = 80' APRIL 26, 2022



MERIDIAN  
LAND SERVICES, INC.

ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441  
MERIDIANLANDSERVICES.COM FAX 603-673-1584

FILE:307705D-03A.dwg PROJECT NO. 3077.05 SHEET NO. 3 OF 13

















THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.

2. THE EROSION CONTROL MEASURES SHOWN ARE DIAGRAMMATIC, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLACE THE PERIMETER CONTROL MEASURES IN THE APPROPRIATE LOCATIONS.

3. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES, AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS, AND SHALL COORDINATE PRE-CONSTRUCTION MEETING WITH THE TOWN OF MILFORD.

4. THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH RAIN EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS (IE WETLANDS, STREAMS, ETC.) WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITED.

6. THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.

7. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.

8. AREAS REMAINED UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.

9. PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.

10. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.

11. SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR COMPOST SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.

12. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).

13. THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.

14. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:

- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRESE INT SLOUGHT;
- B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
- C. A MINIMUM OF 3-IN OF NON EROSION MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
- E. THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.

15. AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.

16. ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.

17. ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.

18. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.

19. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FIT HORIZONTAL TO 1-FIT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.

20. THE CONTRACTOR SHALL APPLY FOR AND RECEIVE AN NHDES GROUNDWATER DISCHARGE PERMIT, PRIOR TO CONDUCTING ANY DEWATERING EFFORTS AND/OR PUMPING OF GROUNDWATER.

21. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.

22. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	SLOPE SEED		
CREeping RED FESCUE	0.87 LBS.	CREeping RED FESCUE	1.01 LBS.
KENTUCKY BLUEGRASS	0.71 LBS.	RYE GRASS	0.75 LBS.
RYE GRASS	0.58 LBS.	RED TOP	0.18 LBS.
RED TOP	0.14 LBS.	ALSKIE CLOVER	0.18 LBS.
		BIRDSFOOT TREFOIL	0.18 LBS.

23. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM FLUORIDE MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).

24. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.

25. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON WHEN SEEDED AREAS ARE MULCHED. PLANTINGS MAY BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

26. ALL MANUFACTURED EROSION AND SEDIMENTATION CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, MULTI-FILAMENT, OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES.

27. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.

28. STORMWATER PONDS INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING OF THE SITE.

29. STUMPS THAT ARE REMOVED FROM SITE SHALL BE MULCHED AND USED APPROPRIATELY IN APPLICABLE EROSION CONTROL (MULCH BERM).

30.1. ANY STUMPS NOT UTILIZED FOR EROSION CONTROLS SHALL BE REMOVED FROM THE SITE OR BURIED IN THE SPECIFIED "STUMP DUMP" LOCATIONS.



REV.	DATE	DESCRIPTION	DR	CK
A	5/13/22	TOWN PB SUBMISSION	TRY	
B	6/13/22	STATE REVIEW COMMENTS	BLR	TRY
C	7/6/22	TOWN REVIEW COMMENTS	BLR	TRY
D	8/9/22	TOWN/STATE REVIEW COMMENTS	BLR	TRY
E	---	---	---	---
F	---	---	---	---
G	---	---	---	---
H	---	---	---	---
I	---	---	---	---

COMMUNITY AT VILLAGE BROOK  
EROSION AND SEDIMENTATION  
CONTROL PLAN

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JANUARY 18, 2022

VILLAGE BROOK, LLC.  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

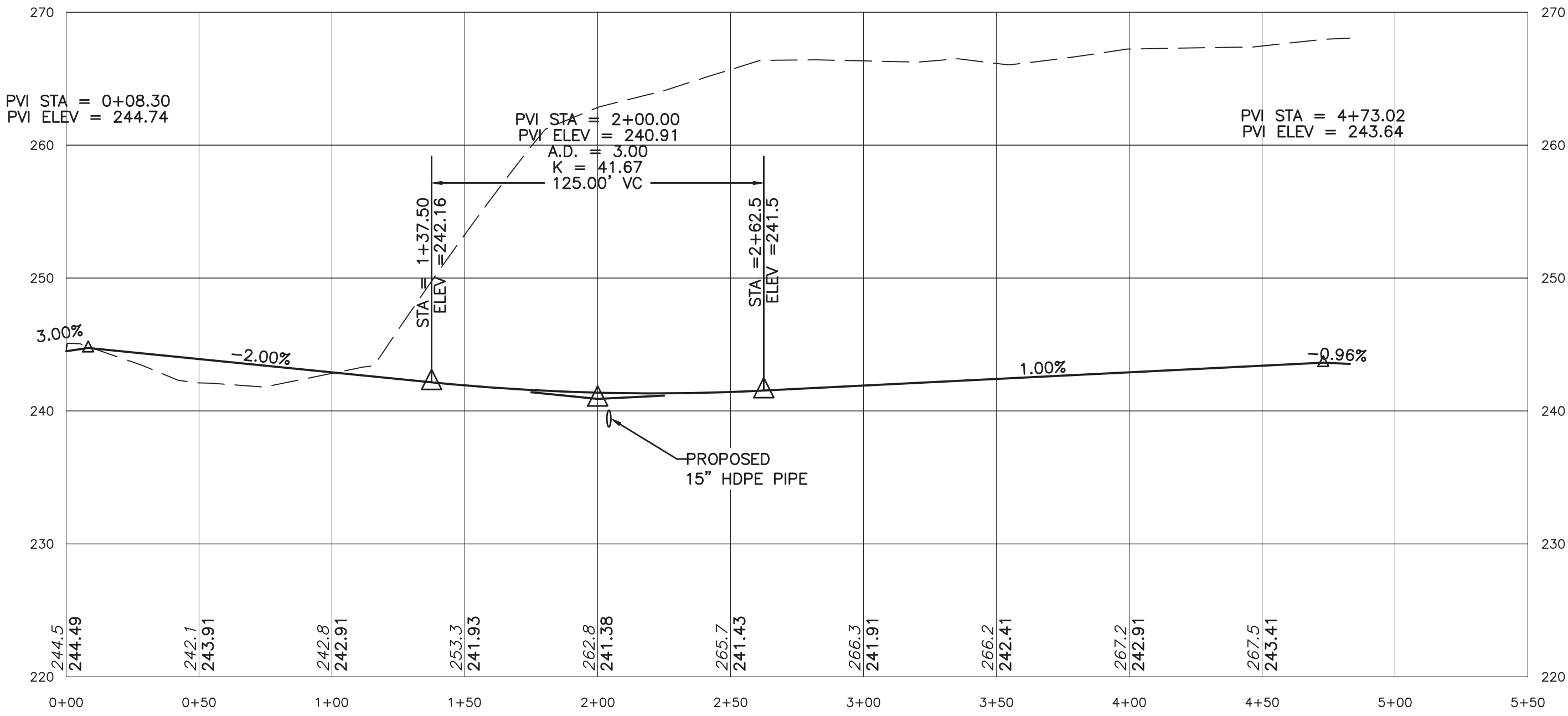
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SCALE: 1" = 50'

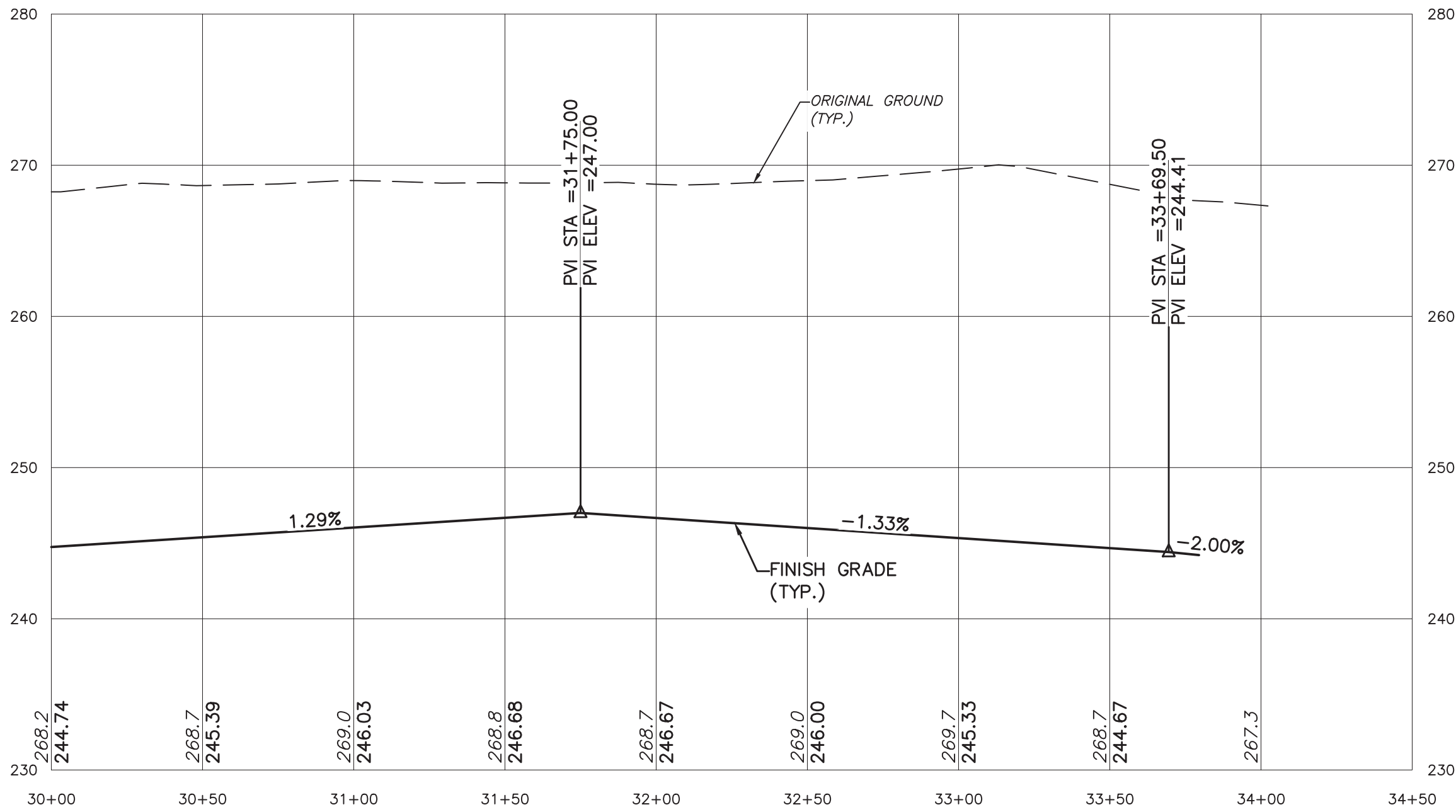
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SHEET  
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PROJECT 03077.05  
SHEET NO. 8 OF 16



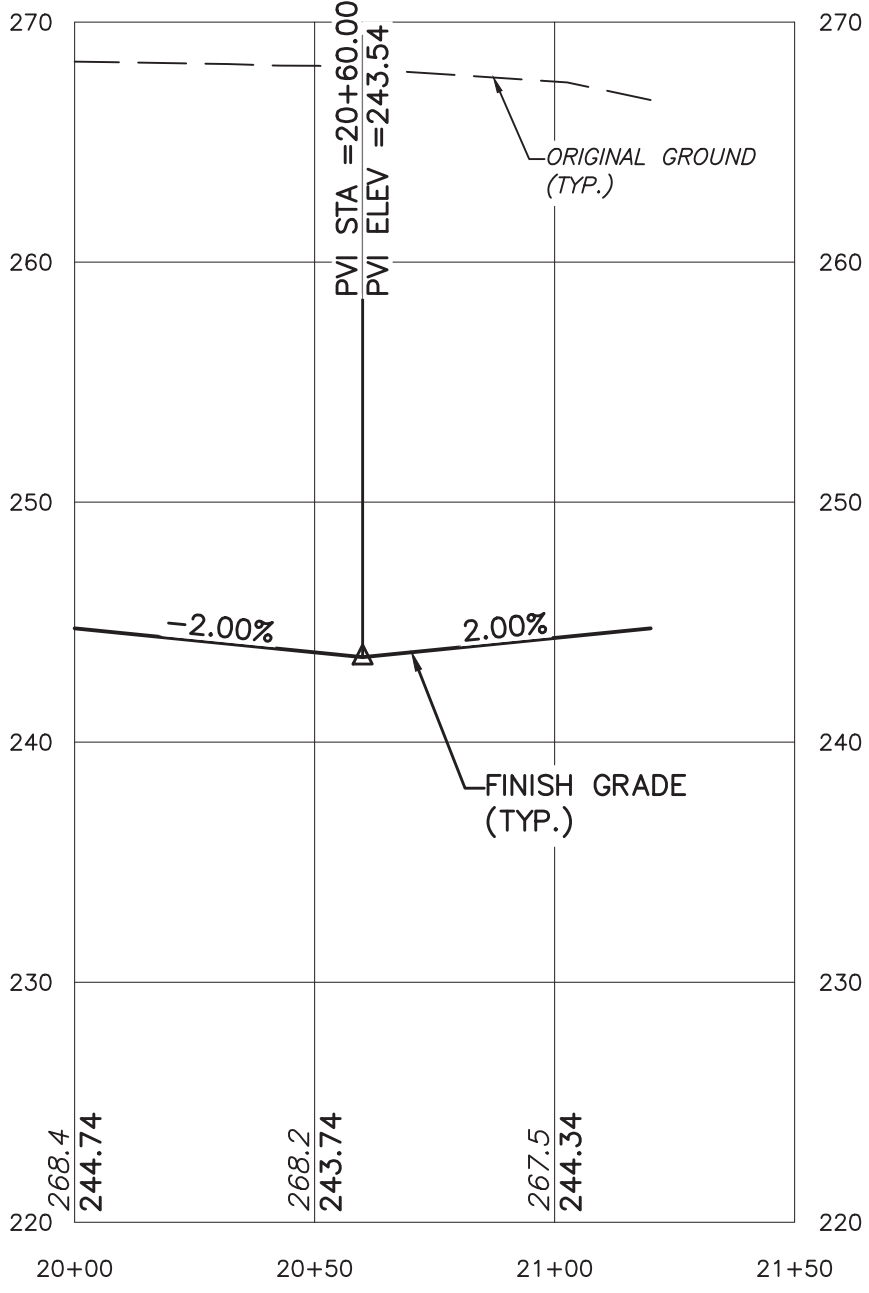
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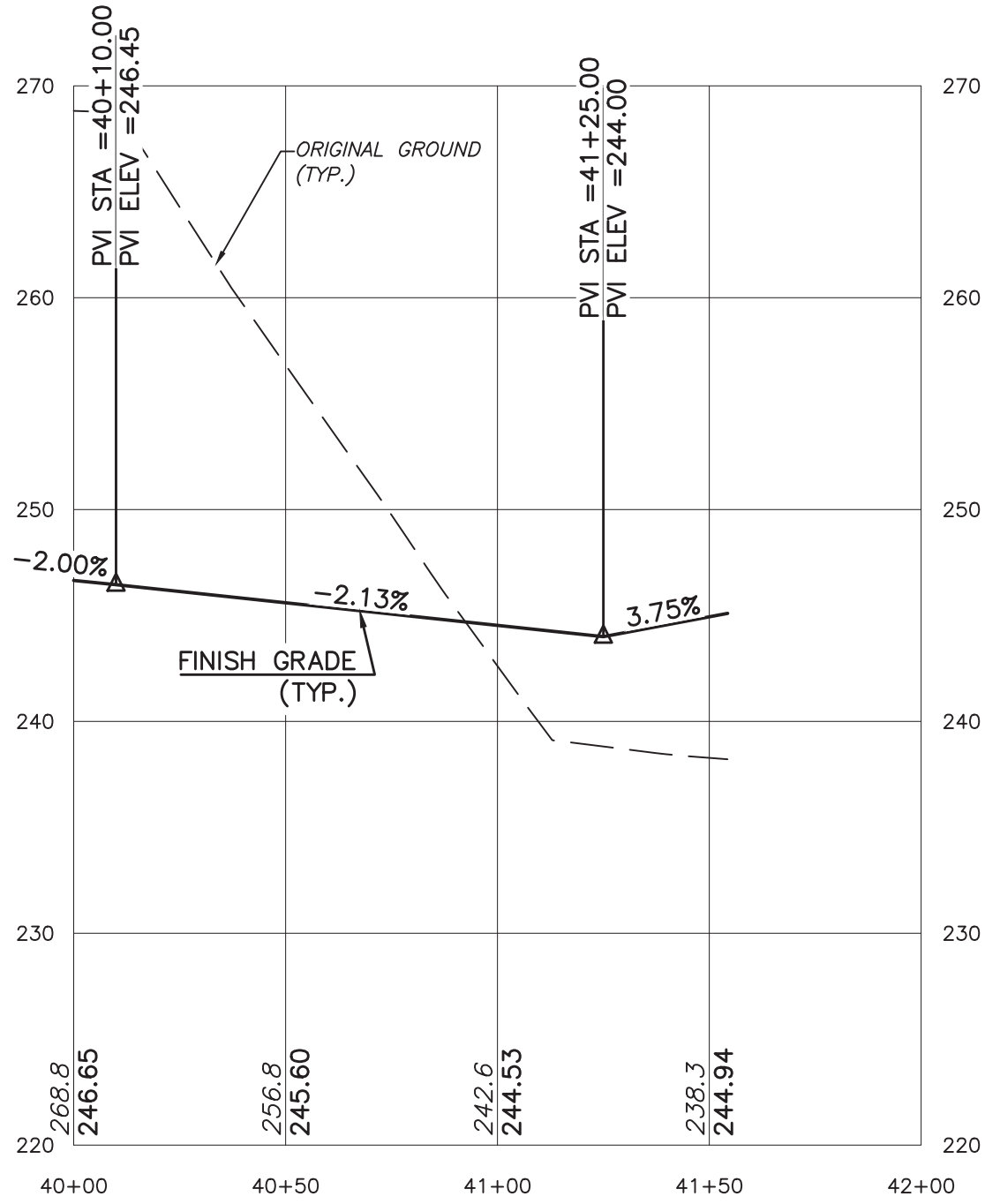
MONIUS LANE - STA. 0+00 TO 4+83.02



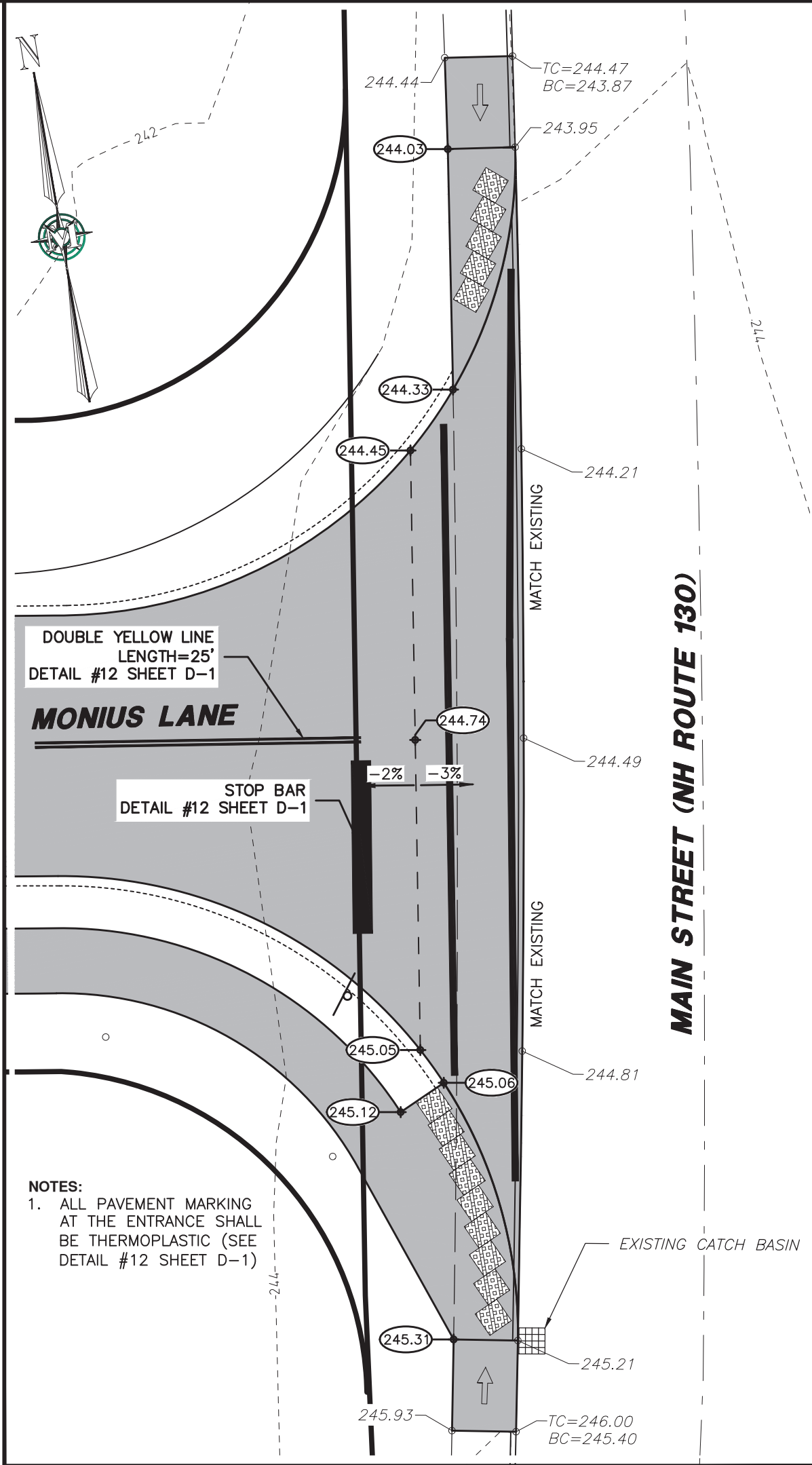
MONIUS WAY - STA. 30+00 TO 33+79.05



HAMMERHEAD - STA. 20+00 TO 21+20.00



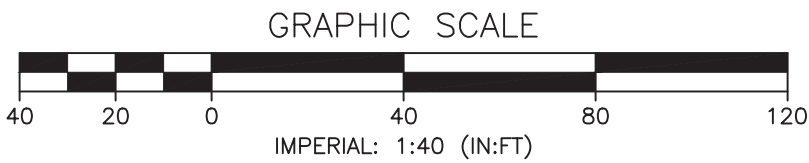
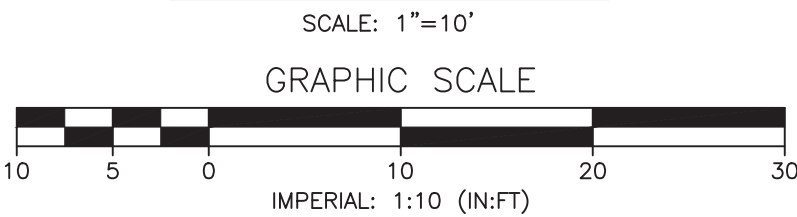
COMMON DRIVEWAY FOR UNITS 4 AND 5 - STA. 40+00 TO 41+54.33



LEGEND:



DETAILED GRADING EXHIBIT



REV.	DATE	DESCRIPTION	DR	CK
1	8/22/22	NH/DOT COMMENTS	BLR	TRY
2	8/9/22	TOWN/STATE REVIEW COMMENTS	BLR	TRY
3	7/6/22	TOWN REVIEW COMMENTS	BLR	TRY
4	6/13/22	STATE REVIEW COMMENTS	BLR	TRY
5	5/13/22	TOWN PER SUBMISSION	TRY	TRY

VILLAGE BROOK, LLC.  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

COMMUNITY AT VILLAGE BROOK  
ROADWAY PROFILES

P-1  
SHEET

FILE: 3077P050.dwg  
PROJECT: 03077.05  
SHEET NO. 9 OF 16

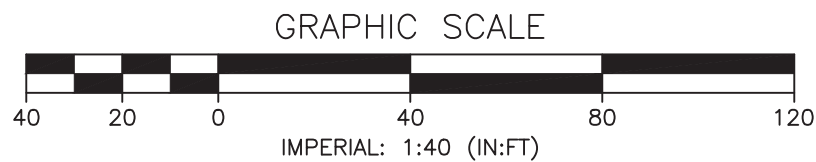
JANUARY 18, 2022

SCALE: 1" = 40' HORIZ. / 8' VERT.



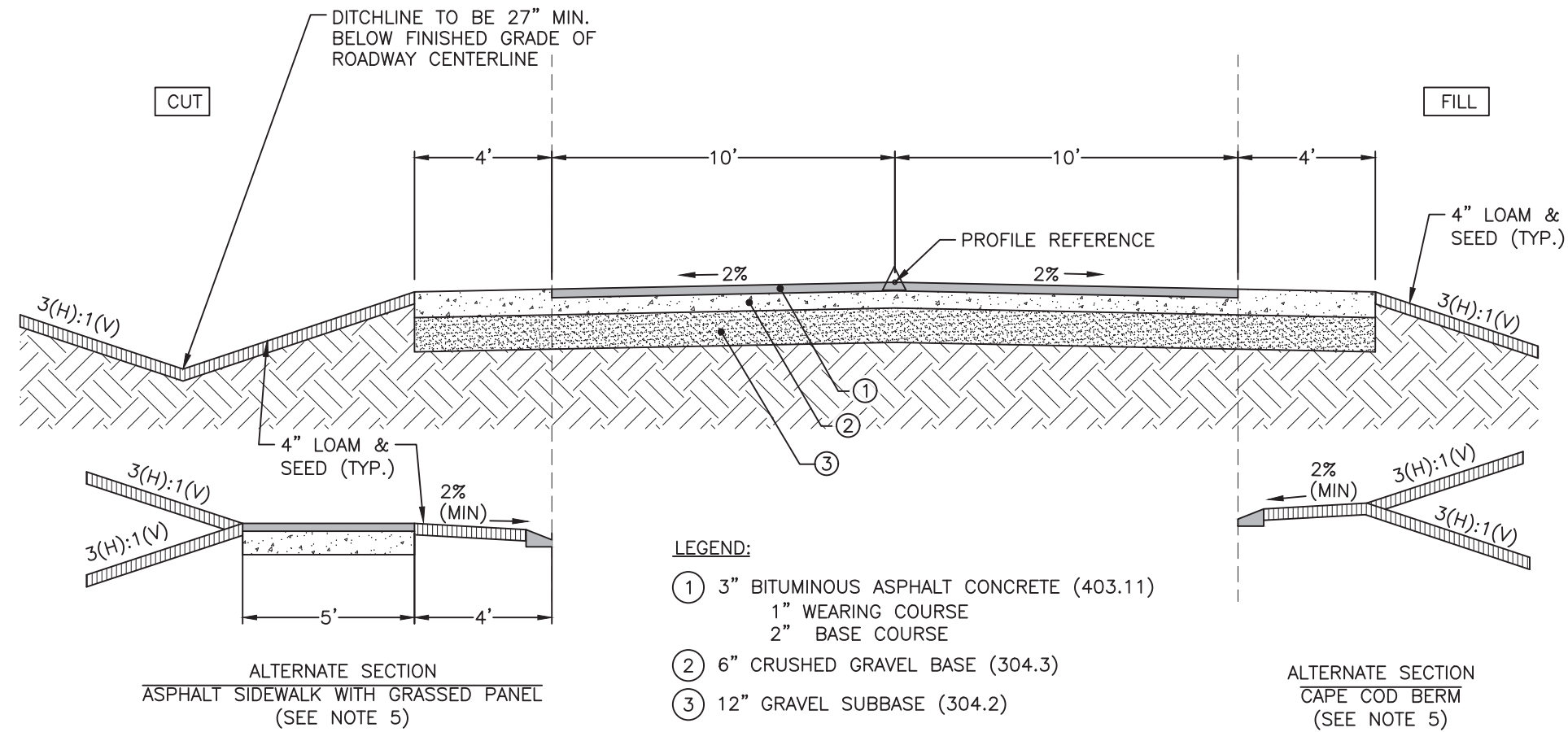




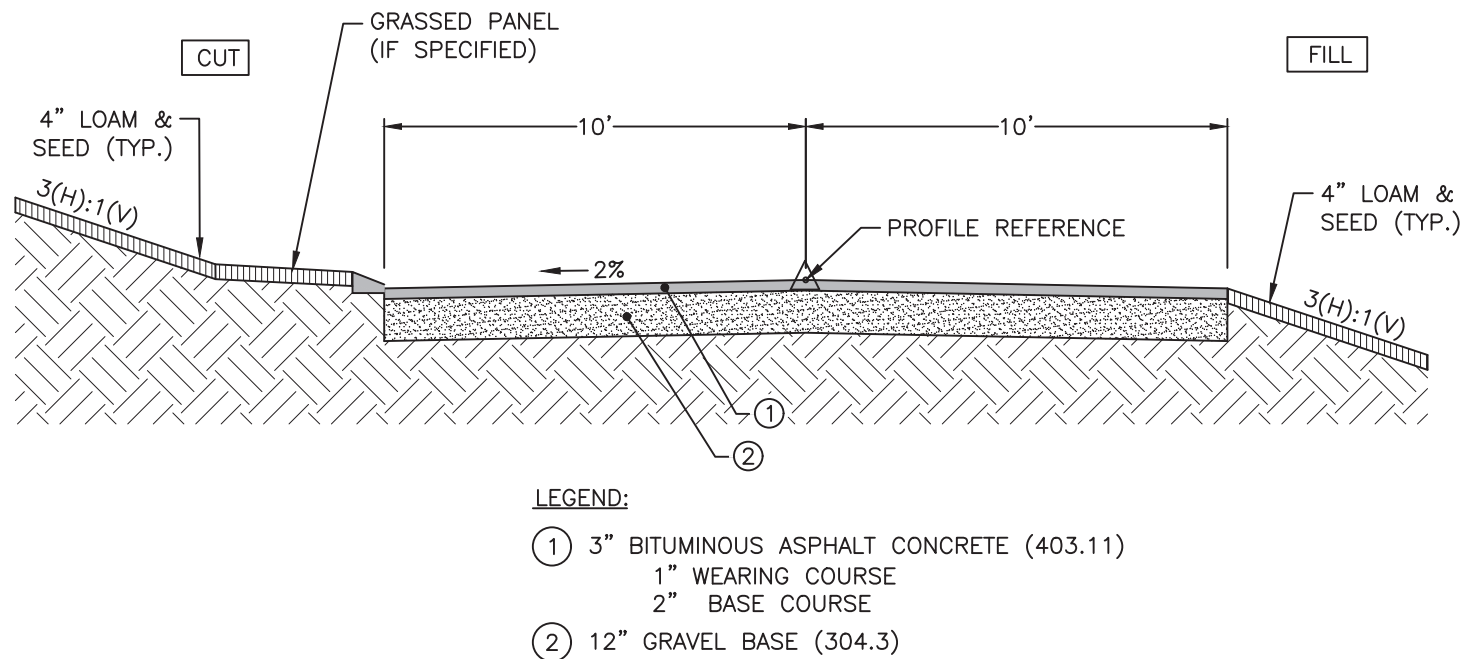




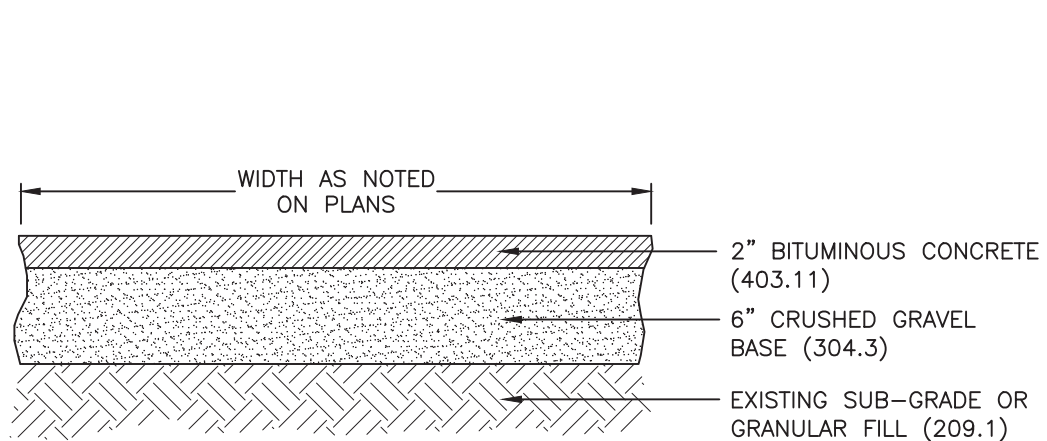
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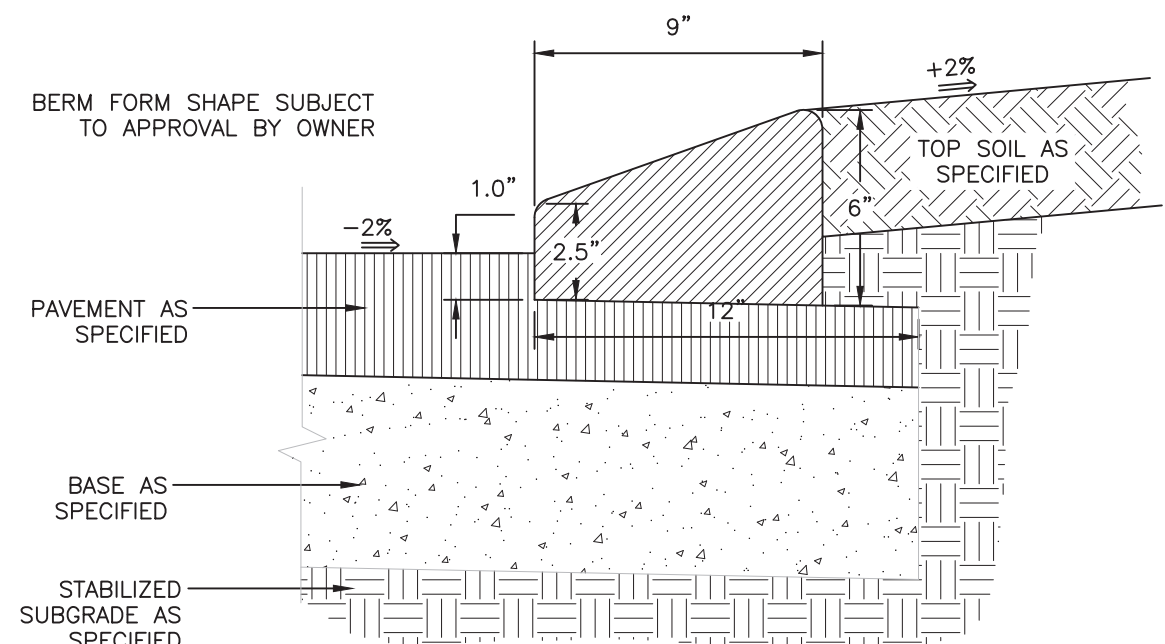
ROADWAY SECTION



COMMON DRIVEWAY SECTION



SIDEWALK - ASPHALT  
(NHDOT ITEM NO.)



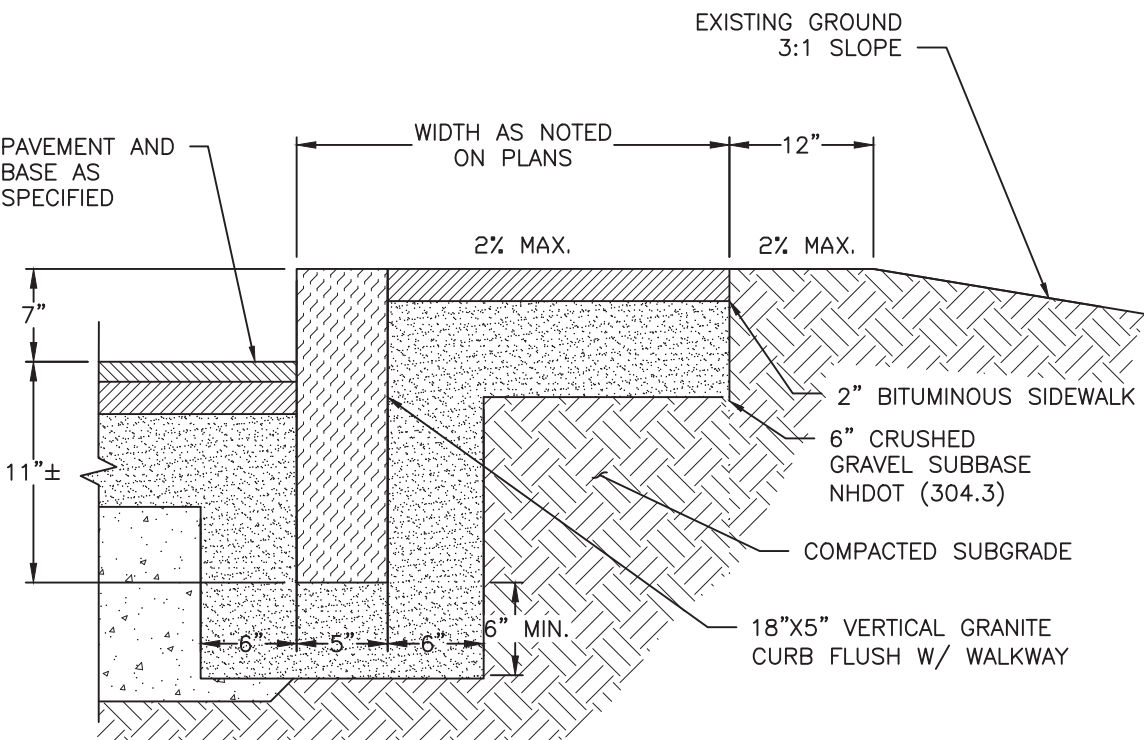
CURB - CAPE COD BERM

GENERAL CONSTRUCTION NOTES:

- REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER FOUNDATION MATERIAL WITHIN 3' OF SUB-GRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
- ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2016 EDITION.
- UNDERDRAIN SHALL BE REQUIRED IN CUT SECTIONS AS DETERMINED AT THE TIME OF CONSTRUCTION. THE UNDERDRAIN PIPE SHALL:  
3.A. DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN.  
3.B. BE 6" IN DIAMETER AND PLACED IN 1-1/2" STONE.  
3.C. BE WRAPPED IN GEOTEXTILE FABRIC (MIRAFI 140NC OR EQUAL).
- WHERE APPLICABLE, GRADE IS MORE THAN 5% CONVEYANCE, SWALE SHALL BE LINED WITH RIPRAP (2 LAYERS, 4" STONE, 6" WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC). WHERE GRADE IS LESS THAN 5%, EROSION CONTROL FABRIC SHALL BE INSTALLED EXTENDING 3' EACH SIDE FROM SWALE CENTERLINE.
- REFER TO THE SITE LAYOUT PLAN FOR DETAILED INFORMATION ON THE LOCATION OF ALTERNATE SECTIONS. REFER TO TYPICAL SECTION DETAILS FOR ADDITIONAL CONSTRUCTION SPECIFICATIONS.

GENERAL CONSTRUCTION NOTES:

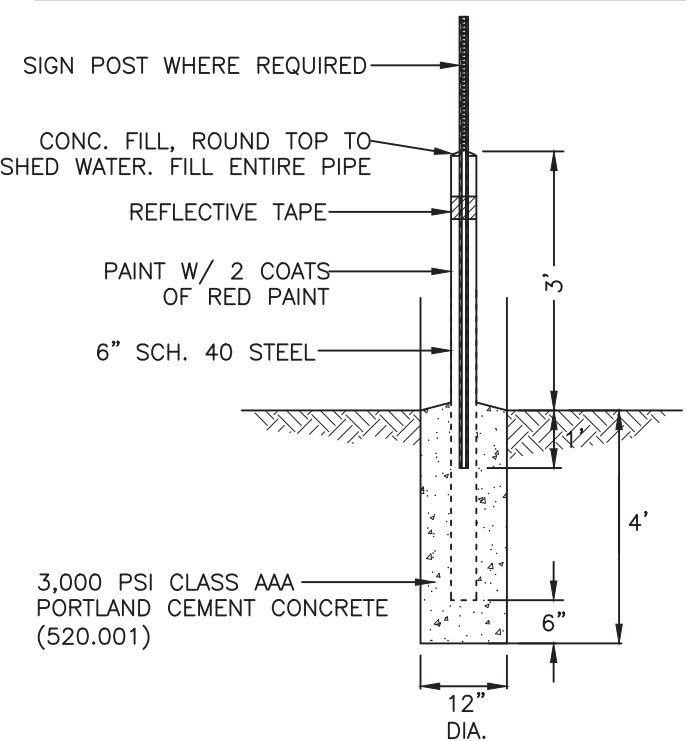
- REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER FOUNDATION MATERIAL WITHIN 3' OF SUB-GRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL. COMPACTION TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
- ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2016 EDITION.
- UNDERDRAIN SHALL BE REQUIRED IN CUT SECTIONS AS DETERMINED AT THE TIME OF CONSTRUCTION. THE UNDERDRAIN PIPE SHALL:  
3.A. DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN.  
3.B. BE 6" IN DIAMETER AND PLACED IN 1-1/2" STONE.  
3.C. BE WRAPPED IN GEOTEXTILE FABRIC (MIRAFI 140NC OR EQUAL).



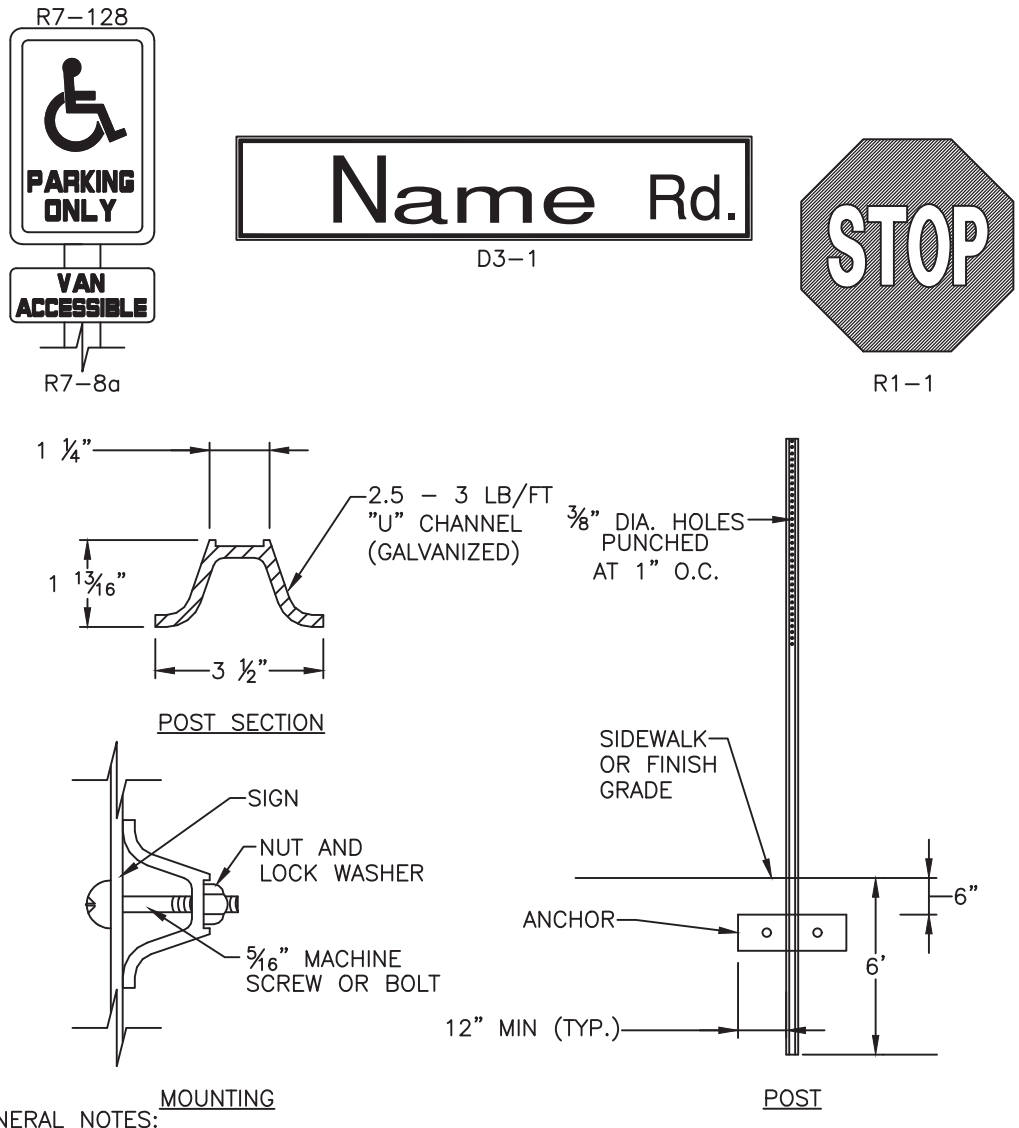
- NOTES:
- SEE SITE LAYOUT PLAN (SP-2) FOR LOCATION OF CONSTRUCTION.
  - MAXIMUM ALLOWABLE SIDEWALK SLOPE IN ALL DIRECTIONS SHALL BE IN ACCORDANCE WITH AMERICAN DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN: CROSS-SLOPE SHALL BE NO LESS THAN 1% AND NO GREATER THAN 2%.
  - ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS.
  - ADJOINING STONES SHALL HAVE THE SAME ( OR APPROX.) LENGTH.
  - MINIMUM LENGTH OF CURB STONES = 3'
  - MAXIMUM LENGTH OF CURB STONES = 10'
  - REMOVE ALL UNSUITABLE MATERIAL TO THE SATISFACTION OF THE ENGINEER.
  - IN THE EVENT BEDROCK IS ENCOUNTERED, EXCAVATE BEDROCK TO A MINIMUM OF 6" BELOW THE SUB-BASE MATERIAL AND REPLACE WITH BANKRUN GRAVEL.
  - SUBGRADE MATERIAL SHALL BE SHAPED AND COMPACTED TO AN EVEN SURFACE. ALL SOFT AND YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL.
  - RESTORATION OF THE ROADWAY IS DEPENDANT ON WHETHER DEMOLITION IS TO CROSS THE FOG LINE.

VERTICAL GRANITE CURB - ASPHALT SIDEWALK  
(NHDOT ITEM NO.)

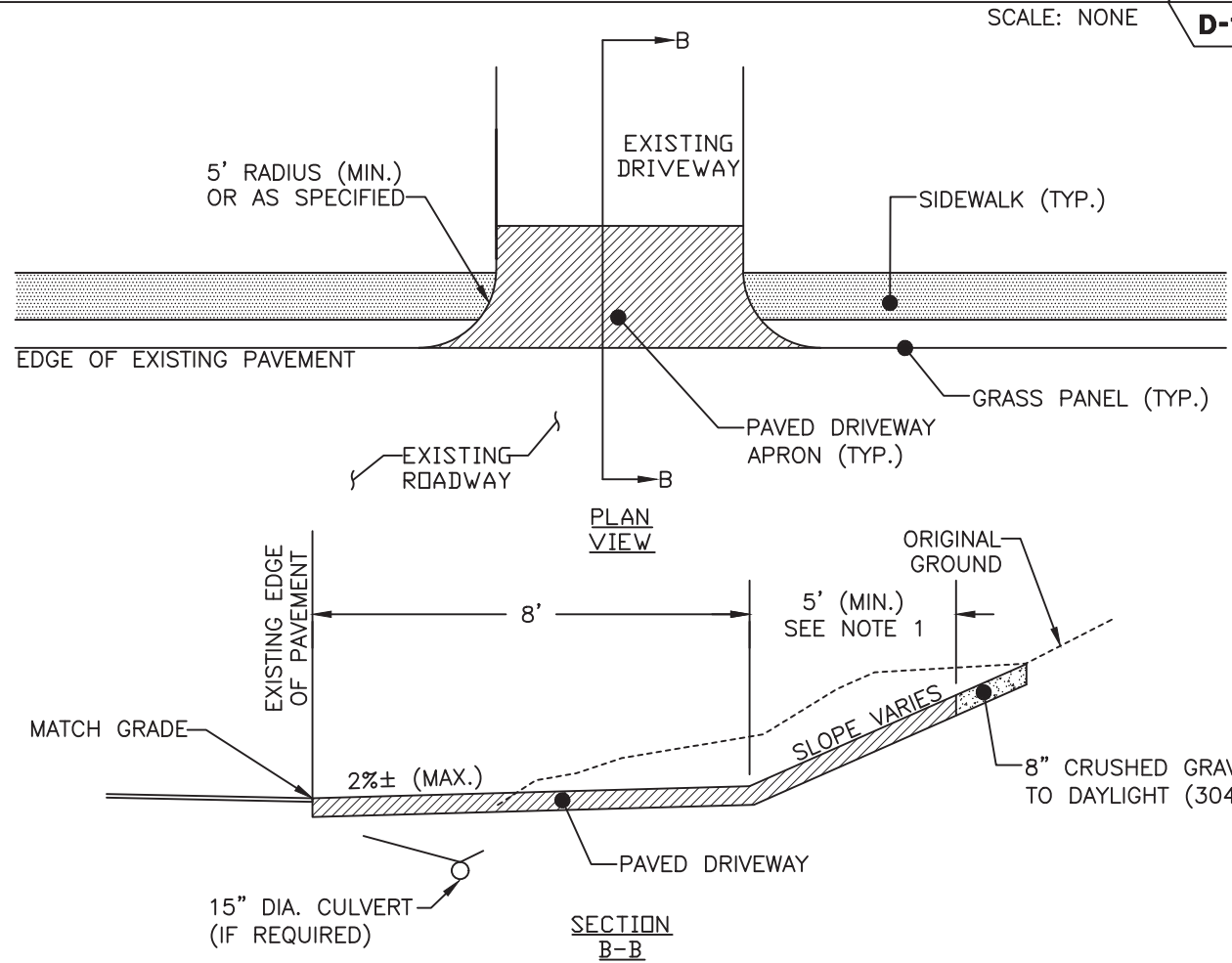
FINAL AESTHETIC ELEMENTS INCLUDING COLOR, HEAD STYLE, FINISHING ETC. TO BE APPROVED BY OWNER OR ARCHITECT.



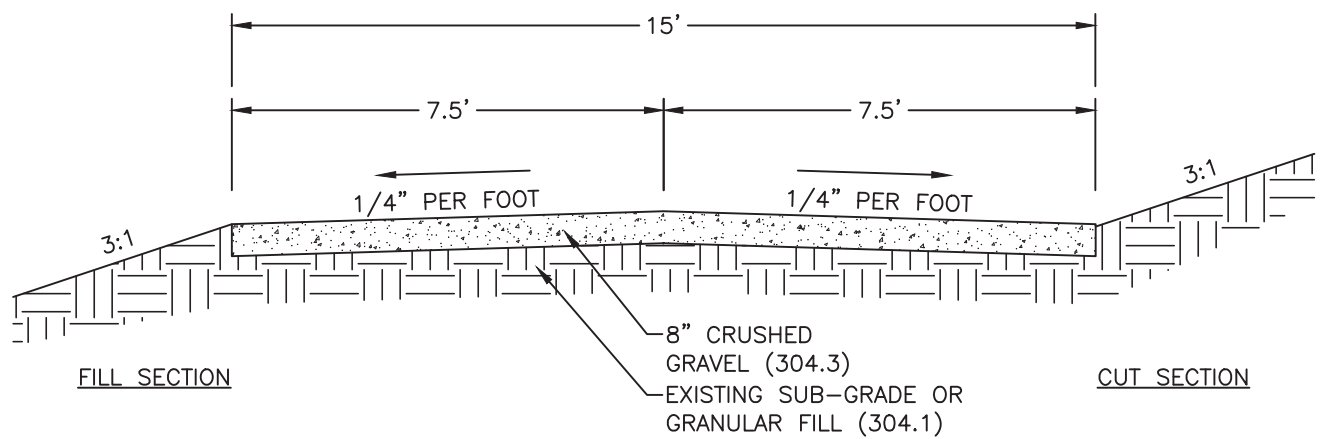
FIXED BOLLARD & BASE  
(NHDOT ITEM NO.)



TRAFFIC SIGNS



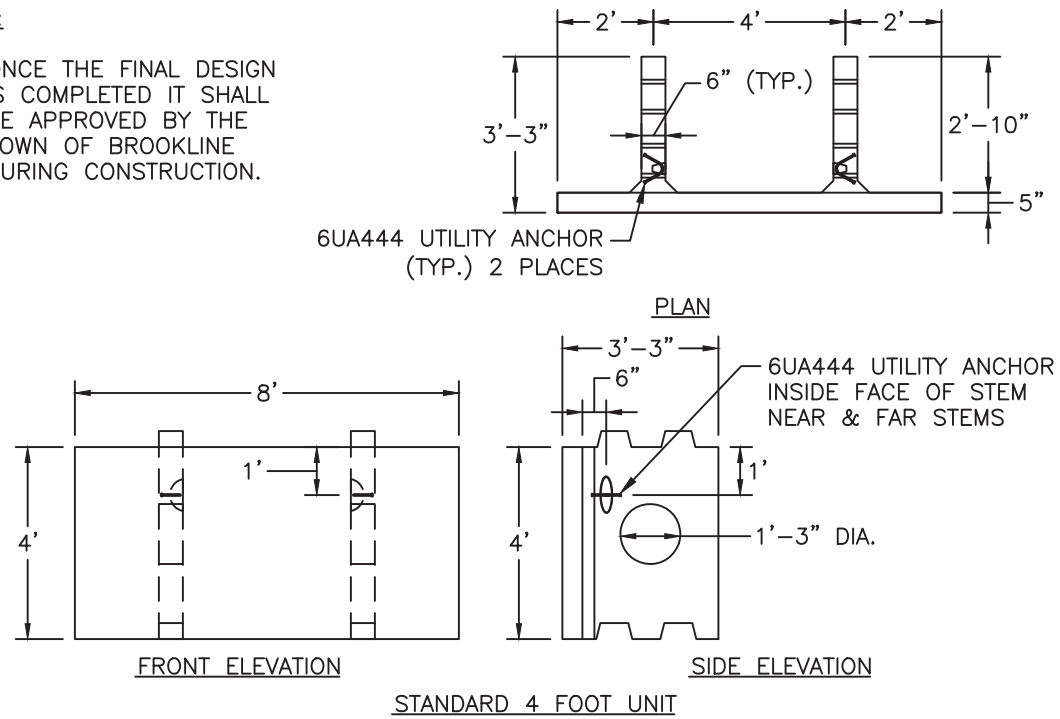
DRIVEWAY - GRASS PANEL SIDEWALK



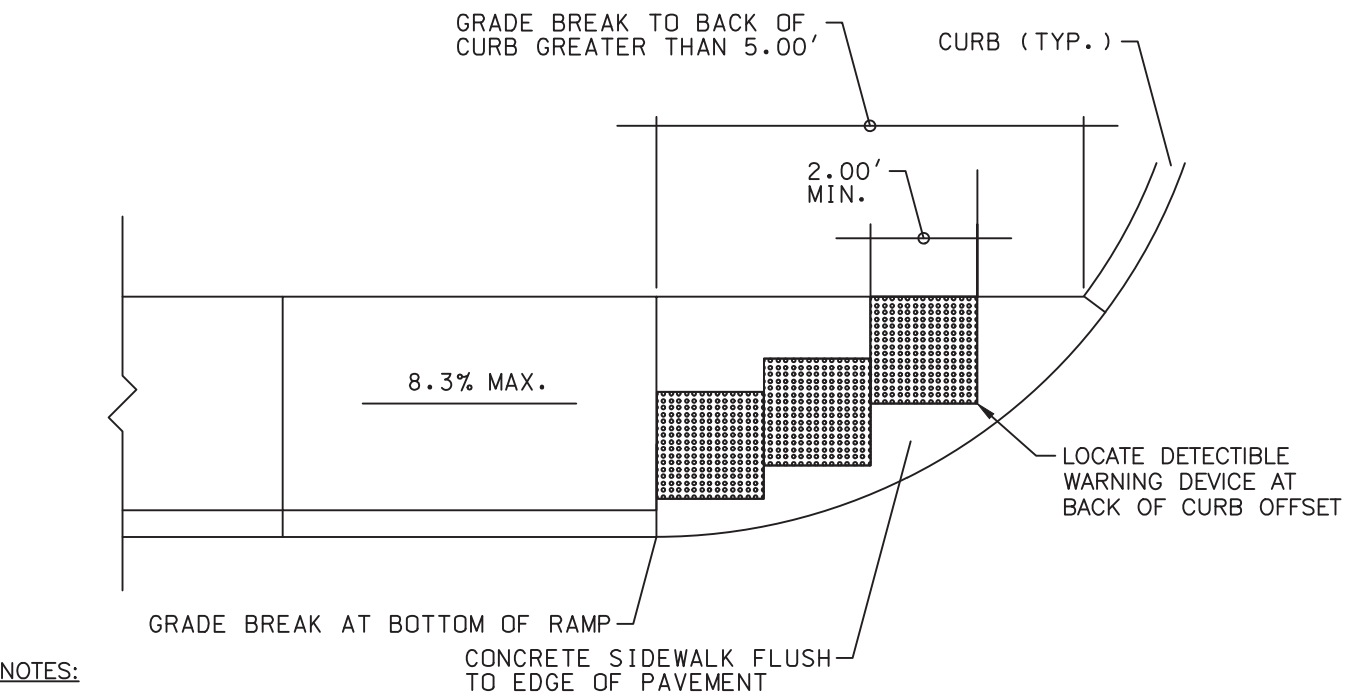
GRAVEL ACCESS ROAD  
(NHDOT ITEM NO.)

NOTES:

- ONCE THE FINAL DESIGN IS COMPLETED IT SHALL BE APPROVED BY THE TOWN OF BROOKLINE DURING CONSTRUCTION.



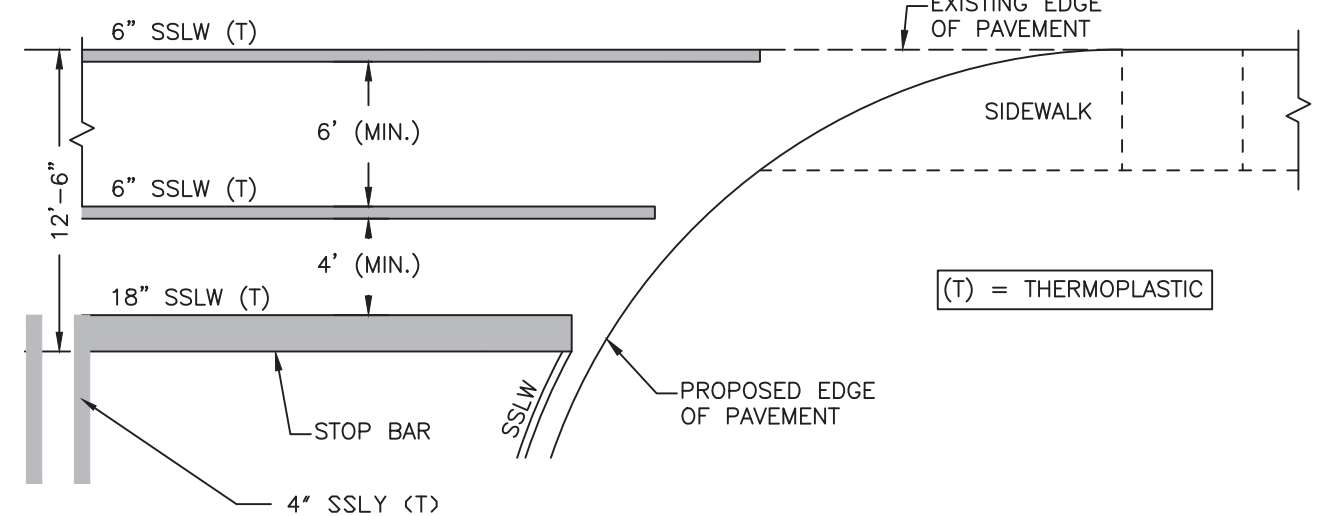
UWALL RETAINING WALL SYSTEM  
CSI CONCRETE SYSTEMS, INC.



NOTES:

- DETECTABLE WARNINGS SHALL BE PROVIDED WHEREVER A CURB RAMP CROSSES A VEHICULAR WAY.
- DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
- DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
- DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.
- SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2" IN WIDTH OR 6" ALONG THE ROADWAY EDGE/CURB. THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGE OF THE RADIUS
- DETECTABLE WARNING PANELS SHALL BE CAST IRON WITH NO SURFACE COATING AND SHALL BE ALLOWED TO TRANSITION TO THEIR NATURAL PATINA.

CURB RAMP



NOTES:

- ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
- PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
- ALL STOP BARS, WORDS, AND CROSSWALKS SHALL BE THERMOPLASTIC

NHDOT STANDARD CROSSWALK (CONTROLLED INTERSECTION)



COMMUNITY AT VILLAGE BROOK  
CONSTRUCTION DETAILS

VILLAGE BROOK, LLC.  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

D-1  
SHEET

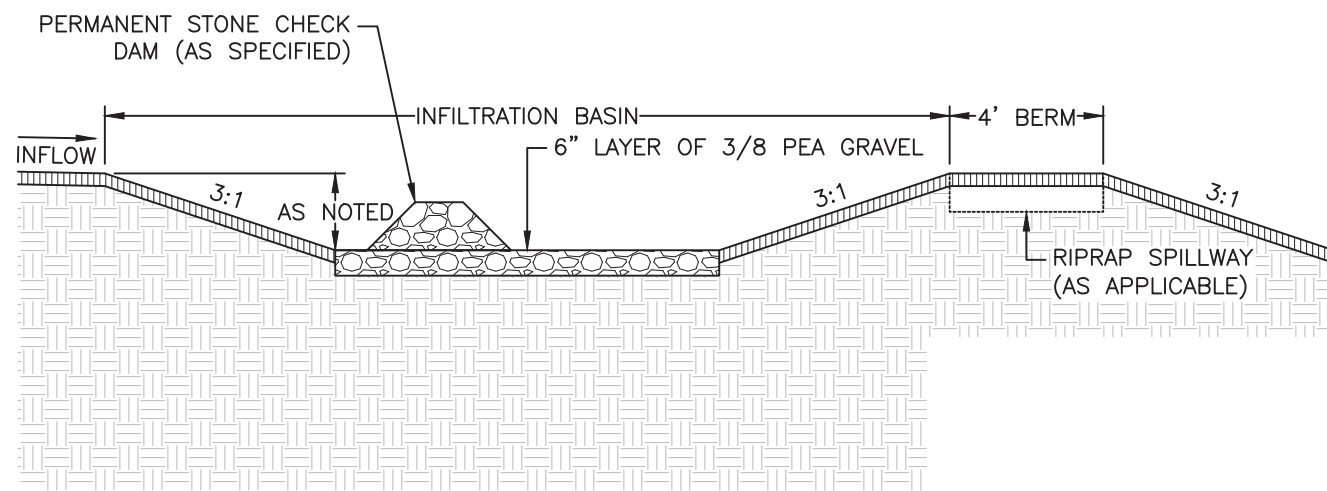
FILE: 3077V05E.dwg  
PROJECT: 03077.05  
SHEET NO. 12 OF 16

SCALE: NONE

FEBRUARY 10, 2022

REV.	DATE	DESCRIPTION	DR	CK
1	8/22/22	NHDOT COMMENTS	BLR	TRY
2	8/9/22	TOWN/STATE REVIEW COMMENTS	TRY	TRY
3	7/6/22	TOWN REVIEW COMMENTS	NGG	TRY
4	6/13/22	STATE REVIEW COMMENTS	BLR	TRY
5	5/13/22	TOWN PER SUBMISSION	TRY	TRY





#### NOTES:

- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT COMPACT THE EXCAVATION.
- STORMWATER SHALL BE DIRECTED TO A PRETREATMENT BMP (IE. SEDIMENT FOREBAY) PRIOR TO INFILTRATION BASIN(S). DO NOT DISCHARGE RUNOFF DURING CONSTRUCTION FROM CONSTRUCTION ACTIVITIES TO INFILTRATION BASIN(S).
- INFILTRATION BASIN(S) FLOORS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHALL BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE INFILTRATION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.
- INFILTRATION BASIN(S) SHALL BE MOWED AT LEAST TWICE ANNUALLY TO CONTROL THE GROWTH OF VEGETATION AND MAINTAIN ACCESS.
- INFILTRATION BASIN(S) SHALL BE INSPECTED FOR DEBRIS/TRASH, SEDIMENT, EROSION, SETTLEMENT, SEEPAGE, WOODY VEGETATION OR ANY DEGRADING STABILITY CONDITION AT LEAST TWICE ANNUALLY AND/OR FOLLOWING A RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD. ANY CONDITIONS PRESENT SHALL BE IMMEDIATELY CORRECTED.
- INFILTRATION BASIN(S) SHALL BE INSPECTED PERIODICALLY AFTER A RAINFALL EVENT TO VERIFY THEY CAN DRAIN WITHIN 72 HOURS. UPON AN INSPECTION RESULTING IN OVER A 72 HOUR DRAIN TIME, A QUALIFIED PROFESSIONAL SHALL ASSESS THE INFILTRATION BASIN(S) AND PROVIDE MEASURES TO RESTORE THE INFILTRATION FUNCTION.
- THE SUBJECT PARCEL IS LOCATED WITHIN A GROUNDWATER PROTECTION AREA. A 4-FOOT SEPARATION TO THE SHWT MUST BE MAINTAINED, OR IF A FILTERING BMP IS BEING USED, 24" OF FILTER MEDIA MUST BE USED.

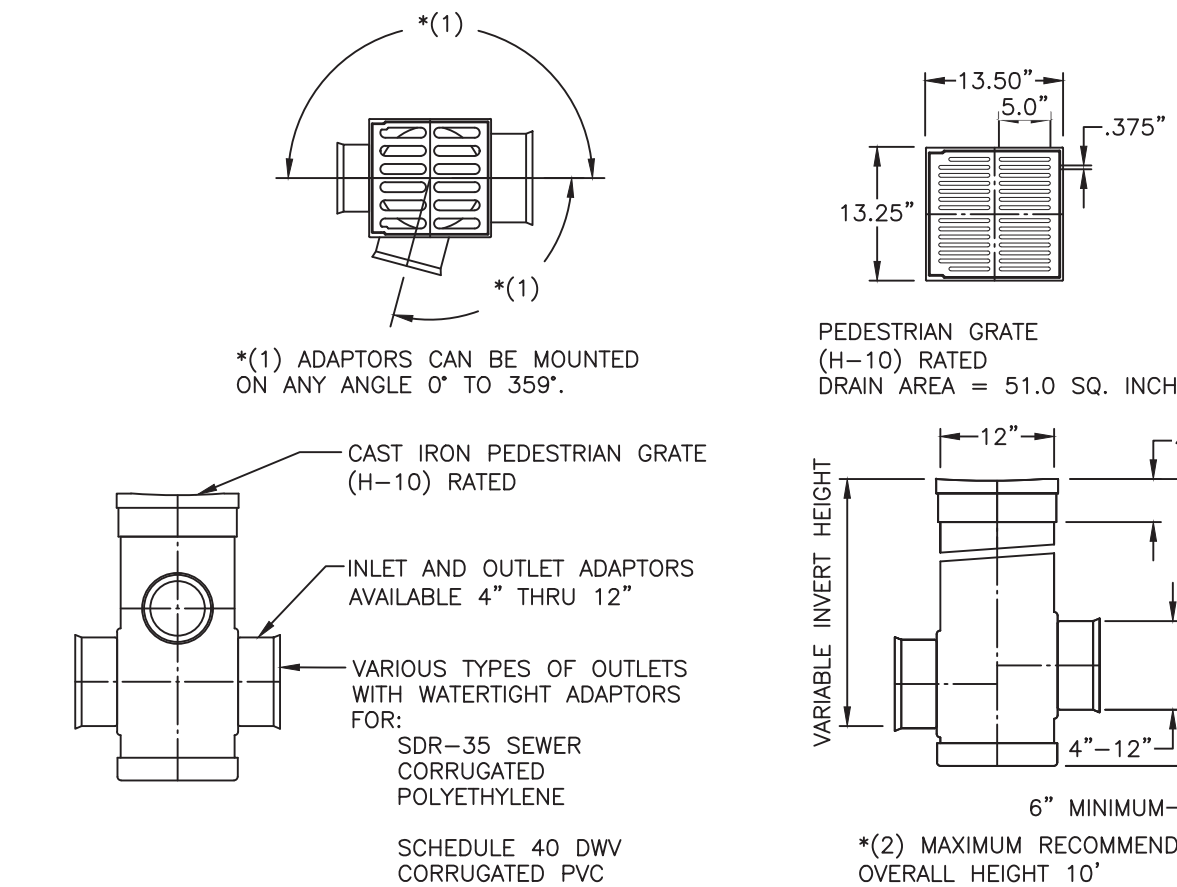
#### MAINTENANCE NOTES:

- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- REMOVAL OF ACCUMULATED SEDIMENT.
- INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- PERIODIC MOWING OF EMBANKMENTS.
- REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- IF AN INFILTRATION SYSTEM DOES NO DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

#### INFILTRATION BASIN - TYPICAL CROSS-SECTION

SCALE: NONE

1  
D-2



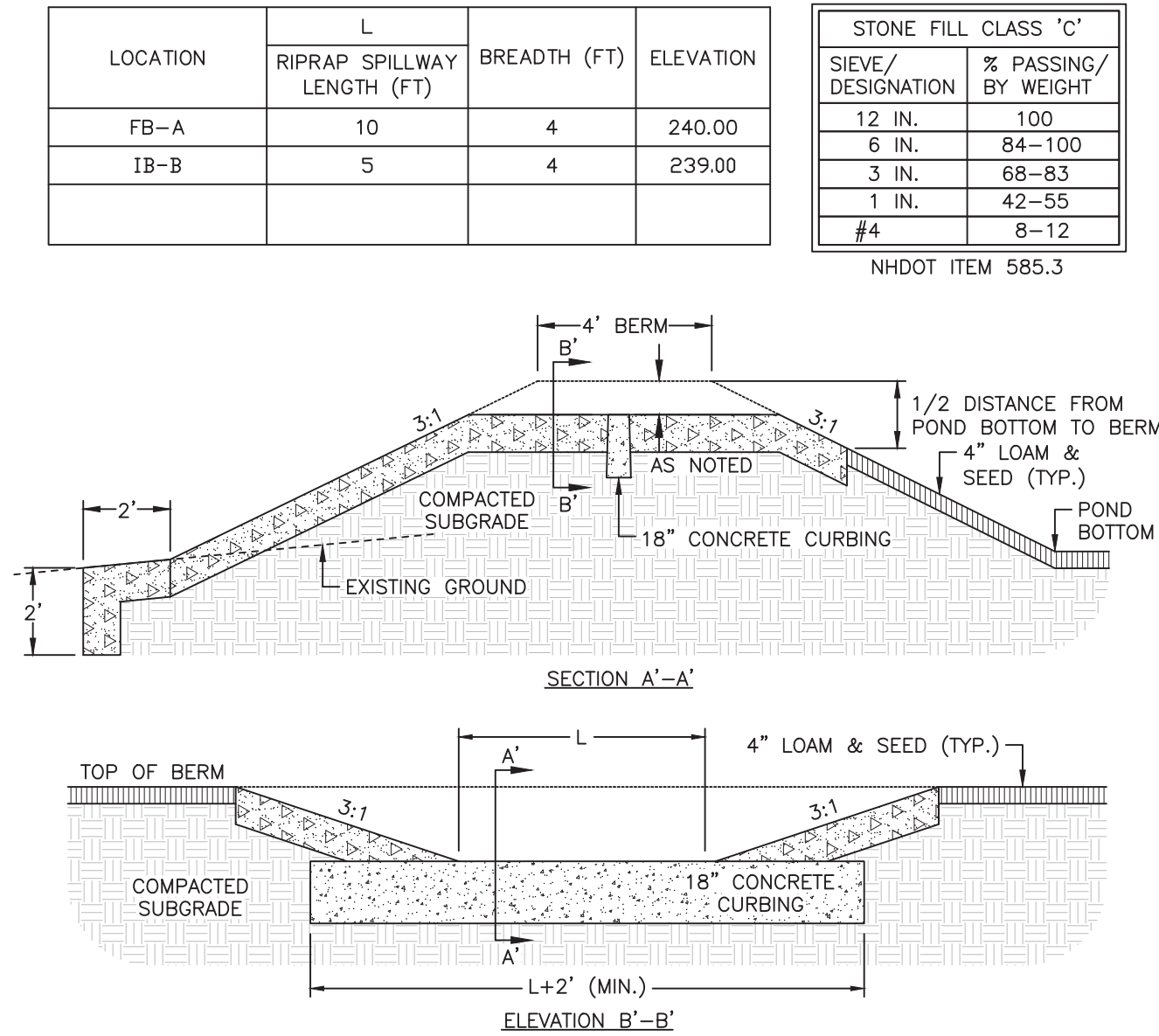
#### LAWN AREA CATCH BASIN -12"

NYLOPLAST DRAIN BASIN OR EQUAL

DEC. 14, 2021

SCALE: NONE

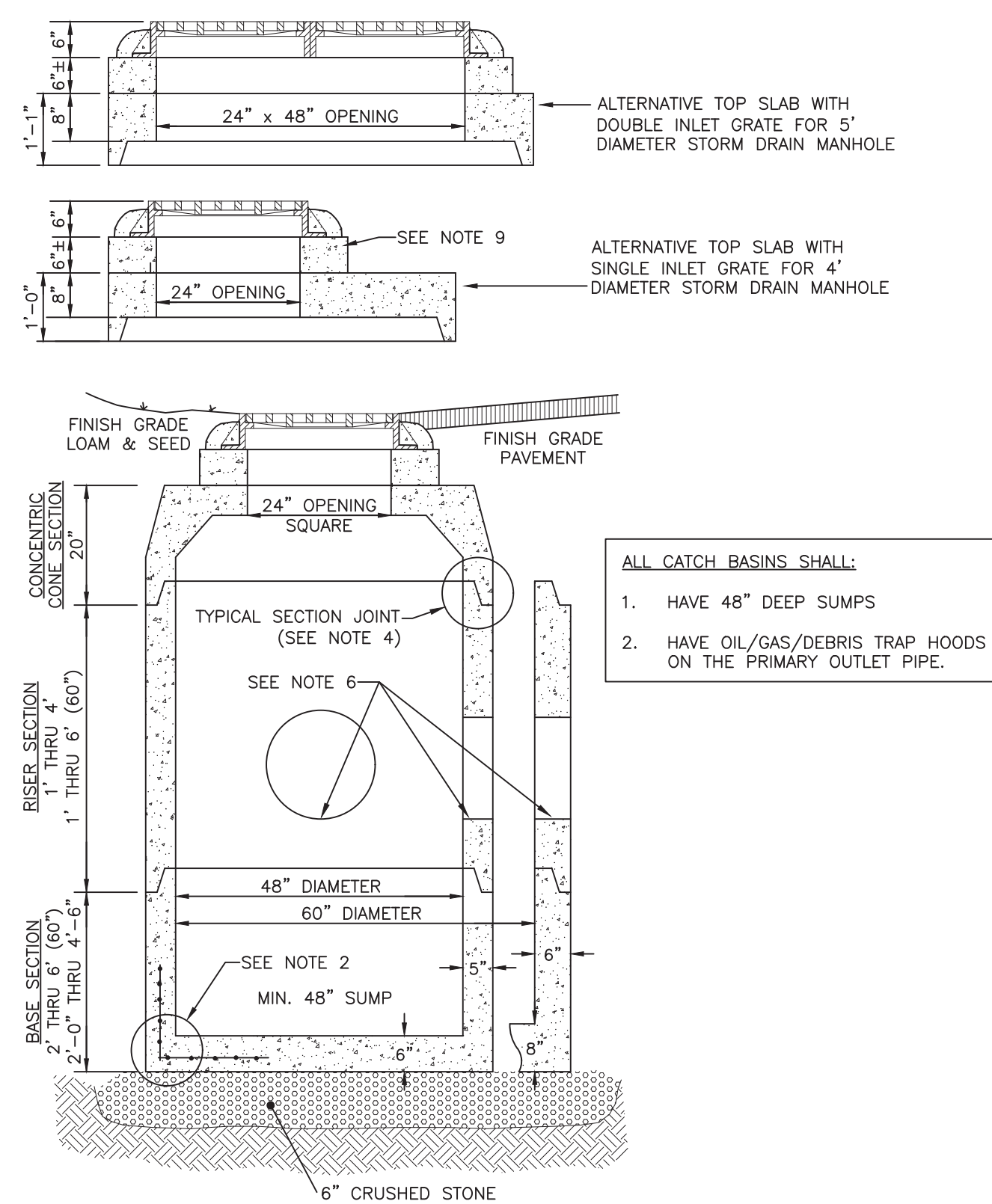
2  
D-2



#### RIPRAP SPILLWAY

SCALE: NONE

3  
D-2



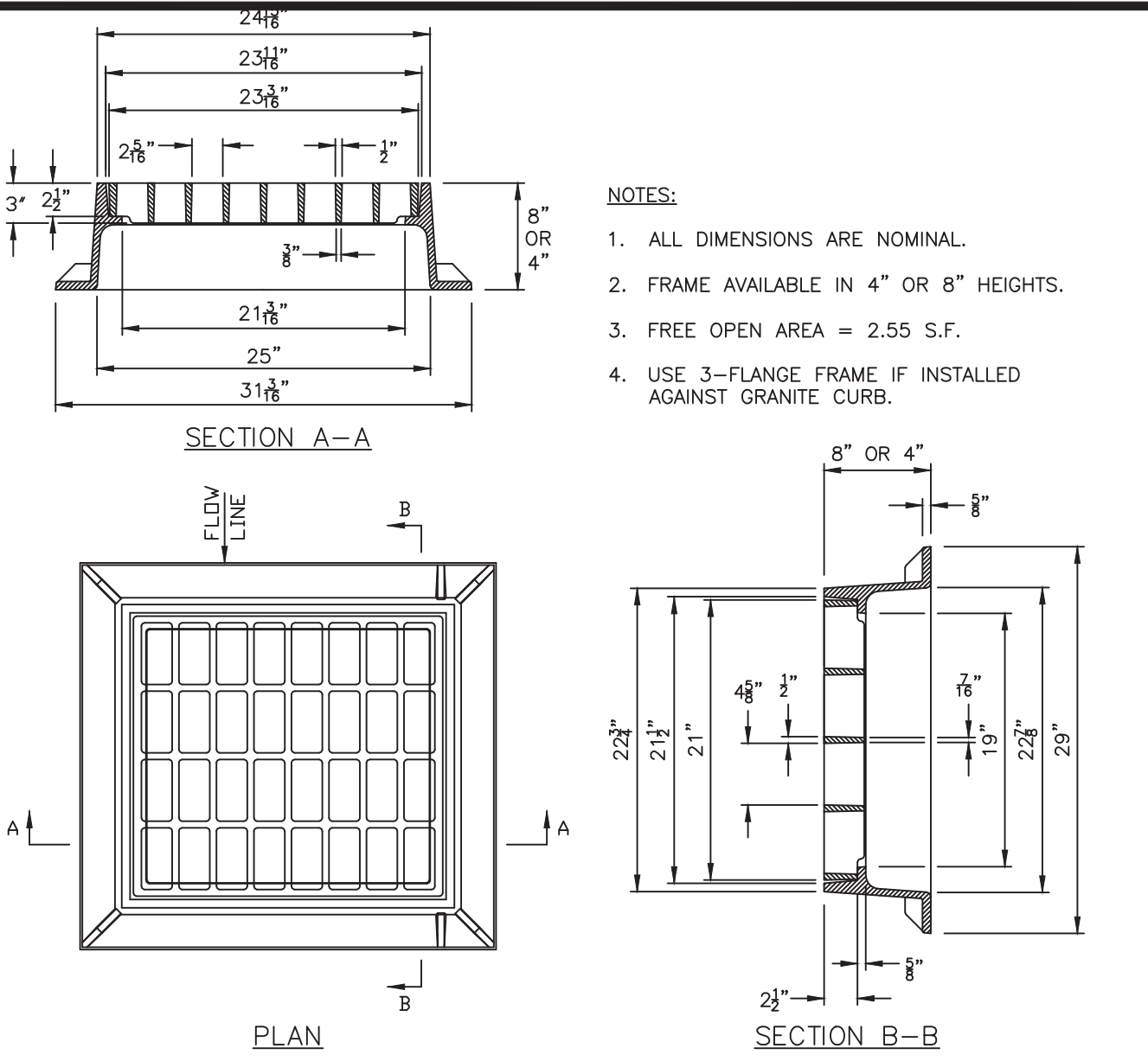
#### NOTES:

- STORM DRAIN MANHOLE SHALL BE SUPPLIED BY CONCRETE SYSTEMS, INC., HUDSON, NH OR EQUAL.
- REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ.IN./LINEAR FT. AND 0.12 SQ.IN. (BOTH WAYS) BASE BOTTOM.
- CONCRETE COMPRESSIVE STRENGTH - 4000 PSI MINIMUM.
- TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. SS-S-210A.
- MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
- ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
- ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING.
- INLET GRATE AND FRAME IS TO BE NEENAH MODEL R-3405 FOR SINGLE GRATE AND MODEL R-3405-A FOR A DOUBLE GRATE STRUCTURE, OR EQUAL.
- INLET FRAME IS TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT. SEALED IN PLACE WITH NON SHRINK GROUT.
- STORM DRAIN MANHOLE IS TO BE SET ON 6" OF 3/4" STONE BEDDING.
- THE 48" DIAMETER STORM DRAIN MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS.
- THE 60" DIAMETER STORM DRAIN SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.

#### STORMSEWER CATCH BASIN (CB)

SCALE: NONE

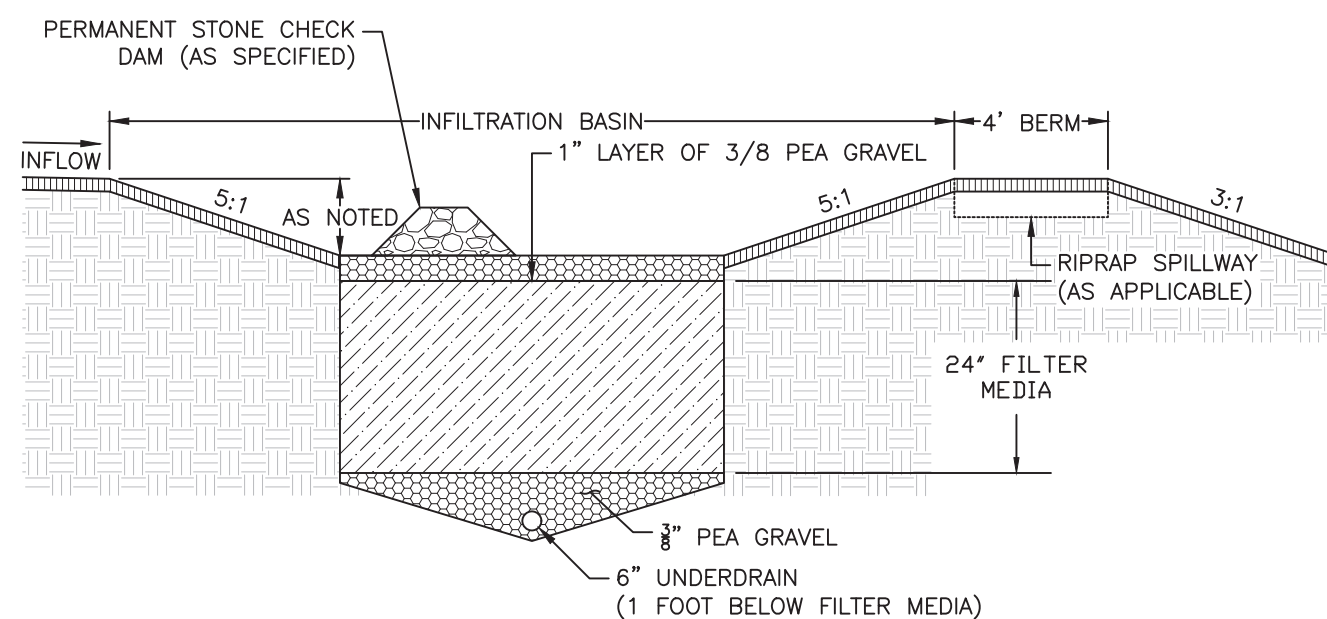
4  
D-2



#### CATCH BASIN FRAME & GRATE (TYPE B)

SCALE: NONE

5  
D-2



#### NOTES:

- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT COMPACT THE EXCAVATION.
- STORMWATER SHALL BE DIRECTED TO A PRETREATMENT BMP (IE. SEDIMENT FOREBAY) PRIOR TO FILTRATION BASIN(S). DO NOT DISCHARGE RUNOFF DURING CONSTRUCTION FROM CONSTRUCTION ACTIVITIES TO FILTRATION BASIN(S).
- FILTRATION BASIN(S) FLOORS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHALL BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE FILTRATION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.
- FILTRATION BASIN(S) SHALL BE MOWED AT LEAST TWICE ANNUALLY TO CONTROL THE GROWTH OF VEGETATION AND MAINTAIN ACCESS.
- PRIOR TO ROUGH GRADING THE FILTRATION AREAS, THE DEVELOPER OR THEIR CONTRACTOR SHALL COORDINATE WITH THE DESIGN ENGINEER TO VERIFY THE DEPTH TO THE WATER TABLE ONCE THE LARGE CUT HAS BEEN MADE IN THAT AREA OF THE SITE.
- BASIN BOTTOM TO BE TESTED IN ACCORDANCE WITH ENV-WQ 1504.14(e) TO VERIFY THE INFILTRATION RATE OF THE NATIVE SOILS.
- 24" FILTER MEDIA IS REQUIRED TO BE USED IF THE TESTED INFILTRATION RATE EXCEEDS 10 INCHES PER HOUR.
- THE 24" FILTER MEDIA MIXTURE SHALL BE IN ACCORDANCE WITH ENV-WQ 1508.07(K)(4)(A): 50% TO 55% BY VOLUME SAND THAT IS CERTIFIED BY ITS PRODUCER AS MEETING THE REQUIREMENTS FOR ASTM C-33 CONCRETE SAND, 20% TO 30% BY VOLUME OF LOAMY SAND TOPSOIL WITH 15% TO 25% FINES PASSING THE NUMBER 200 SIEVE, AND 20% TO 30% BY VOLUME MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE NUMBER 200 SIEVE.
- THE SUBJECT PARCEL IS LOCATED WITHIN A GROUNDWATER PROTECTION AREA. A 4-FOOT SEPARATION TO THE SHWT MUST BE MAINTAINED, OR IF A FILTERING BMP IS BEING USED, 24" OF FILTER MEDIA MUST BE USED WITH AN UNDERDRAIN 1-FOOT BELOW THE FILTER MEDIA.

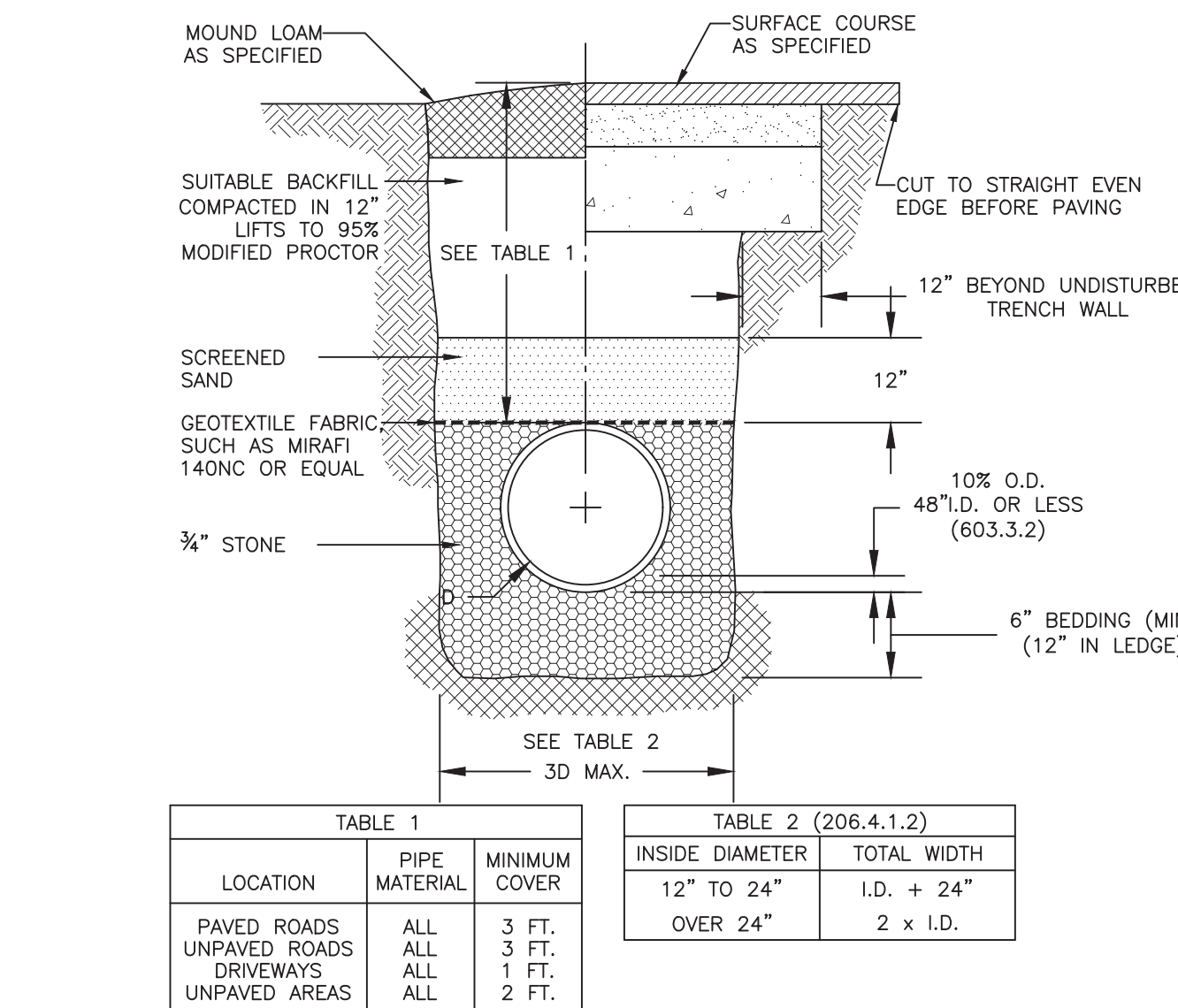
#### MAINTENANCE NOTES:

- REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- REMOVAL OF ACCUMULATED SEDIMENT.
- INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- INSPECTION OF FILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- PERIODIC MOWING OF EMBANKMENTS.
- REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- IF AN INFILTRATION SYSTEM DOES NO DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

#### FILTRATION BASIN - TYPICAL CROSS-SECTION

SCALE: NONE

6  
D-2



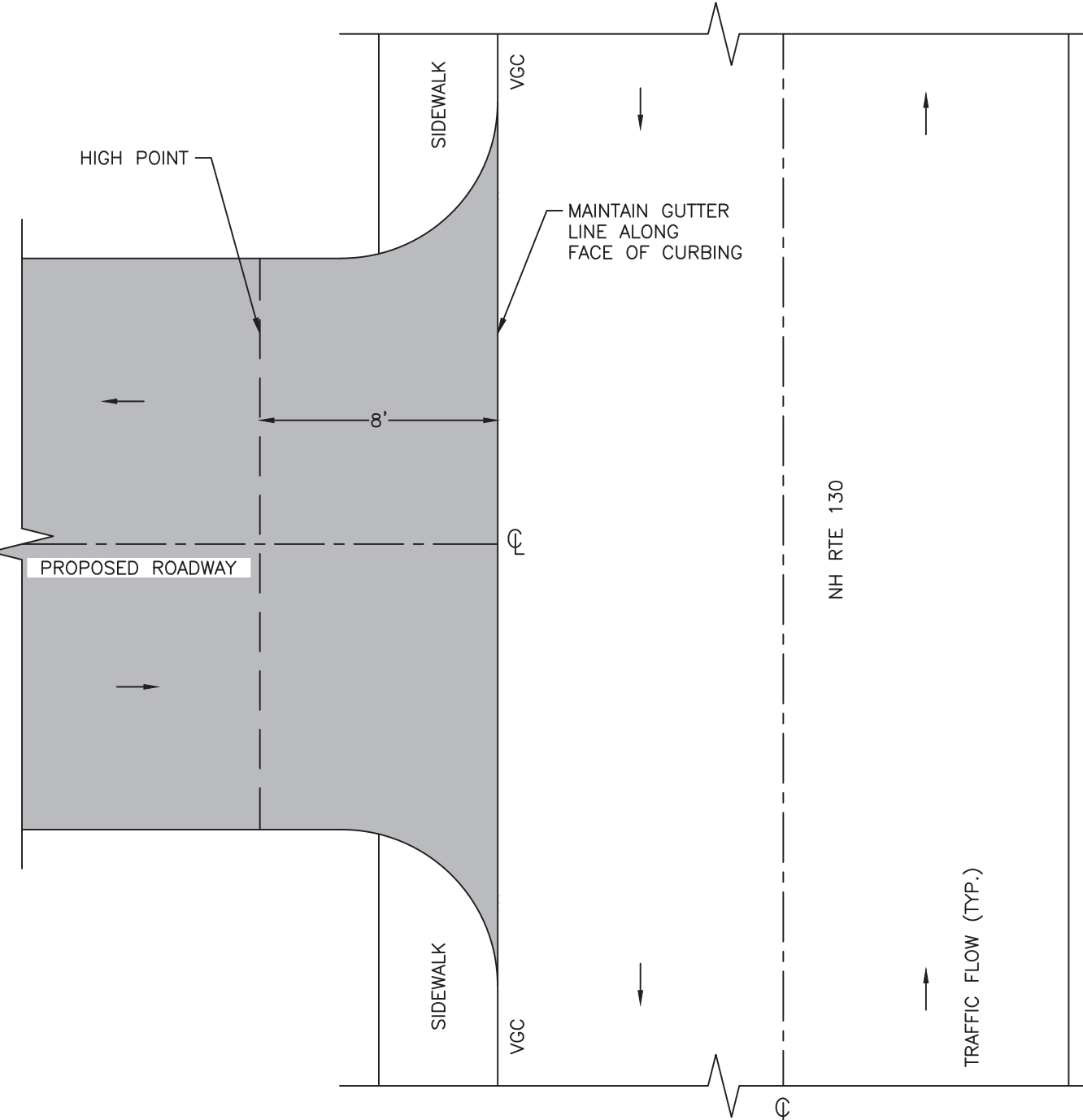
#### TYPICAL DRAINAGE PIPE TRENCH

(NHDOT ITEM NO.)

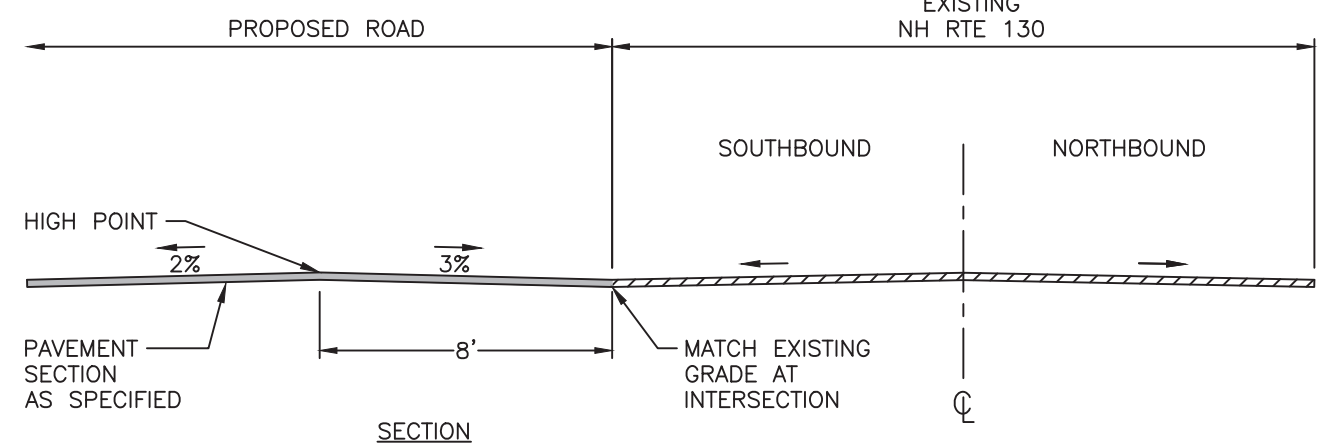
SEPT 30, 2002

SCALE: NONE

7  
D-2



#### PLAN VIEW



#### SECTION

#### ROADWAY GUTTER LINE

(NHDOT ITEM NO.)

JUN. 7, 2022

SCALE: NONE

8  
D-2



REV.	DATE	DESCRIPTION	DR	CK
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92	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
93	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
94	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
95	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
96	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
97	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
98	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
99	10/10/22	ISSUED FOR PERMITTING	BLR	TRY
100	10/10/22	ISSUED FOR PERMITTING	BLR	TRY

COMMUNITY AT VILLAGE BROOK  
CONSTRUCTION DETAILS

VILLAGE BROOK, LLC.  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

D-2  
SHEET  
FILE: 3077V05E.dwg  
PROJECT 03077.05  
SHEET NO. 13 OF 16

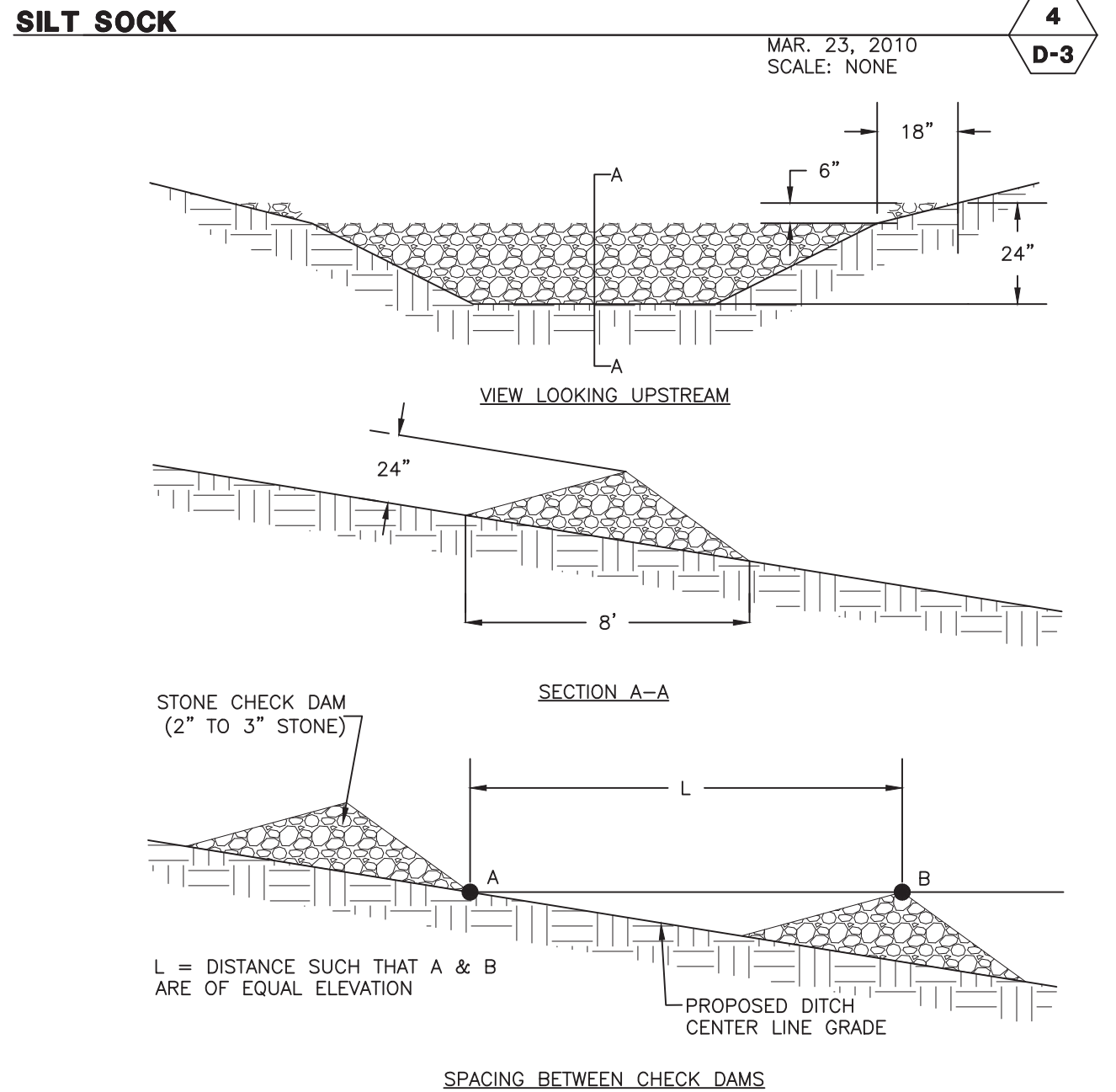


11. TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.
- 
4. 6. 5. 8.

Diagram illustrating the installation of a fence post into the ground. The diagram shows a cross-section of the ground with a fence post being installed. The post is labeled "36\" MIN. FENCE POST" and "10\" MAX. C. TO C.". The post is shown being driven into the ground, with a "NON-WOVEN FILTER CLOTH" being placed around the post. The ground is labeled "UNDISTURBED GROUND". The distance from the top of the post to the ground line is labeled "20\" MIN.". The distance from the ground line to the bottom of the post is labeled "16\" MIN.". The bottom of the post is labeled "EMBED FILTER CLOTH MIN. 8\" INTO GROUND". An arrow labeled "FLOW" indicates the direction of water flow towards the post.

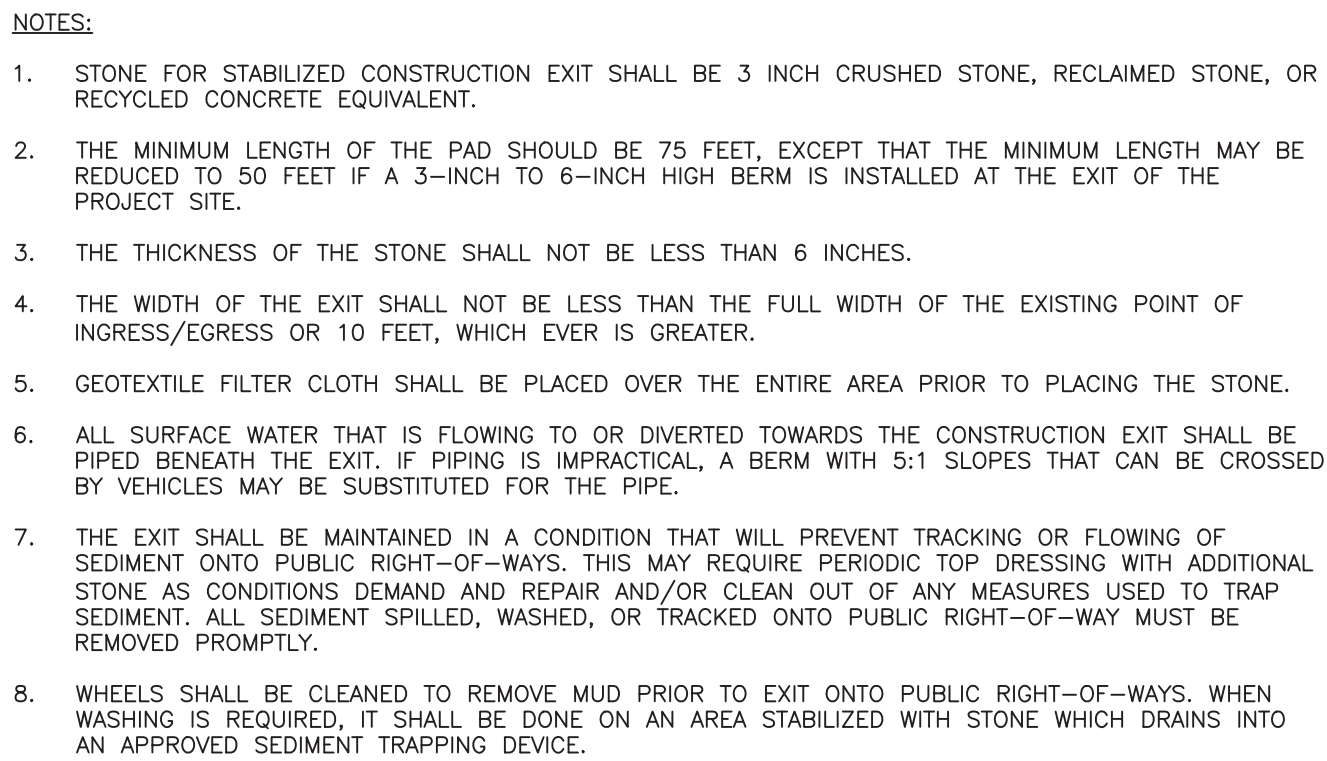
Diagram illustrating the cross-section of a mulch berm. The berm is constructed on an existing subgrade, with a minimum height of 1' and a minimum top width of 2'. The low point of the berm is graded to a sediment basin. The diagram labels the existing ground, the mulch berm, the existing subgrade, and the low point graded to a sediment basin. The scale is noted as NONE.

- TYPICAL MULCH BERM** AUG. 29, 2016  
SCALE: NONE 3  
D-3



1. TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.
2. USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME.
3. ALL ESSENTIAL GRADING SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.
4. PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.
5. A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL.
6. THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
7. HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE CONDITIONS.
8. PLANT SELECTION AND APPLICATION RATES:

- SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS** SCALE: NONE **6**  
**D-3**

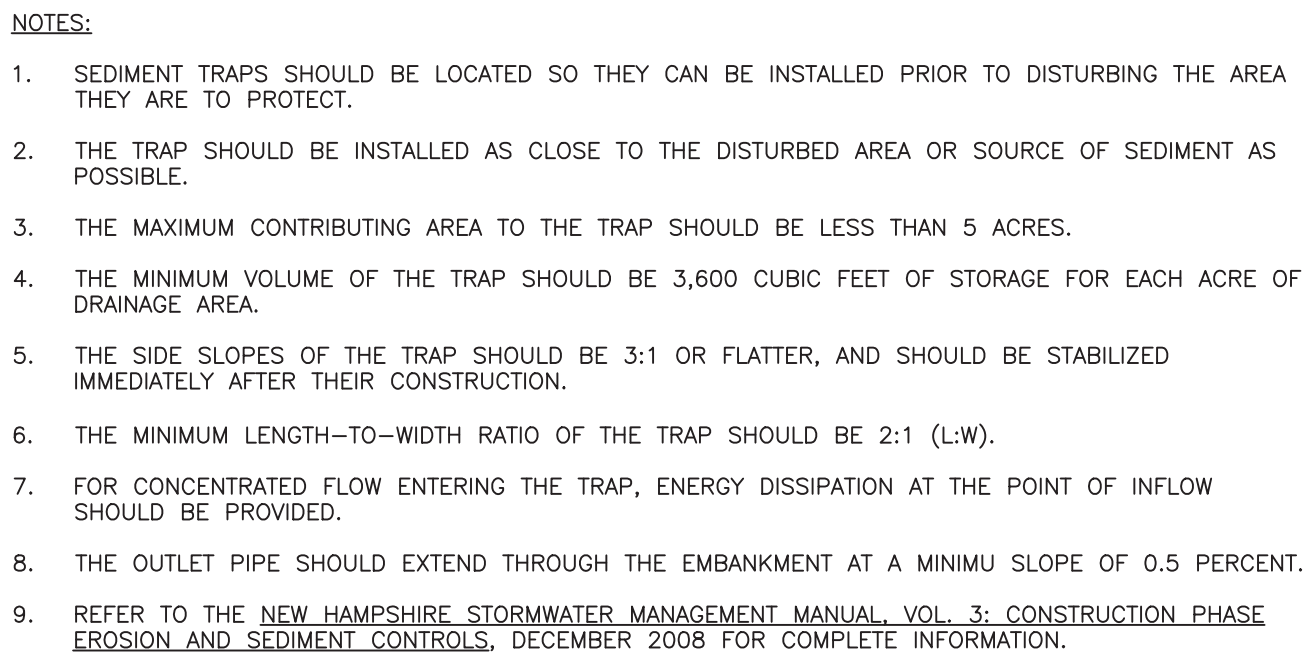


SCALE: NONE

**D-3**

1. ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

SCALE: NONE **D-3**

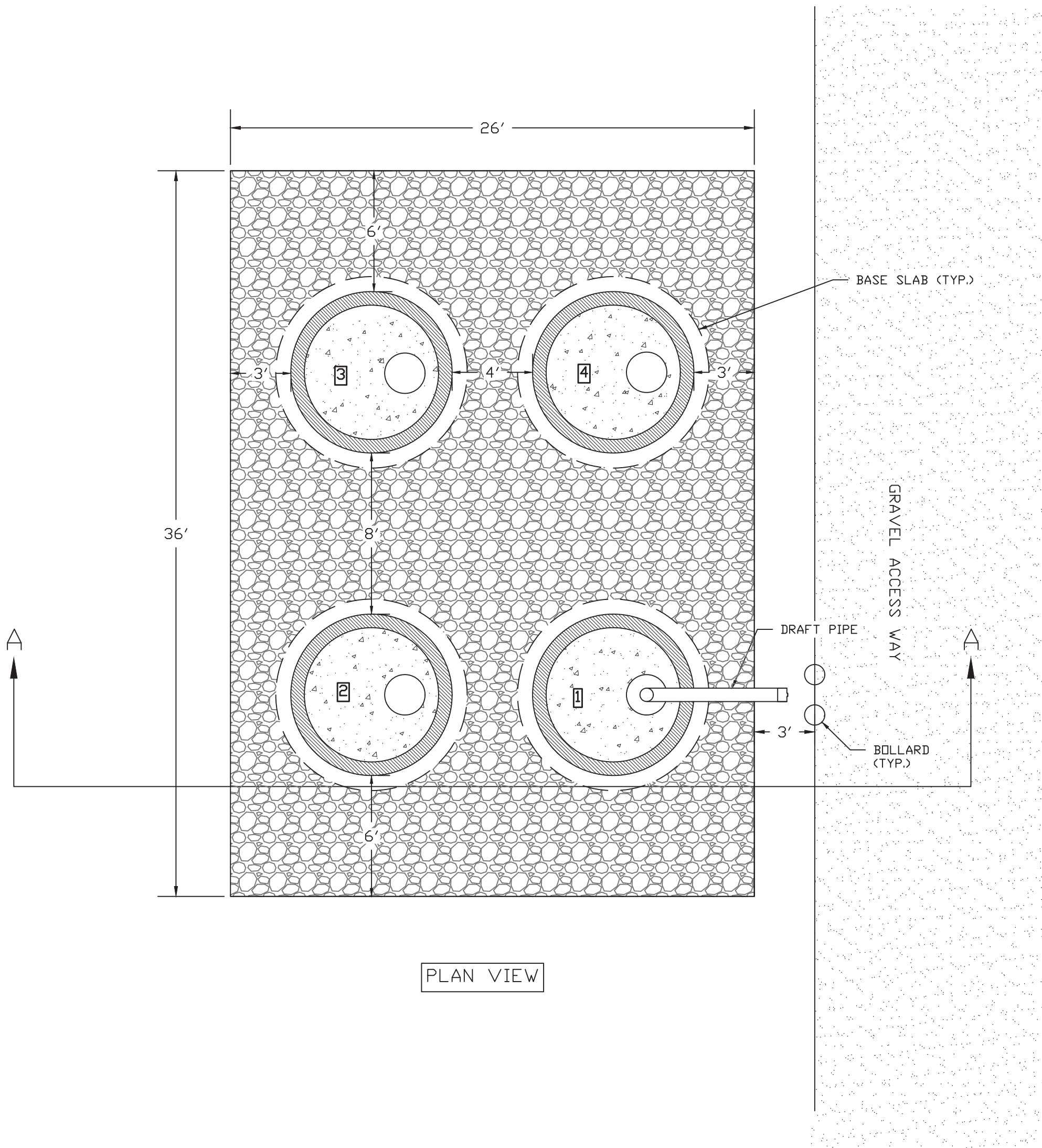


- # EARTH OUTLET SEDIMENT TRAP

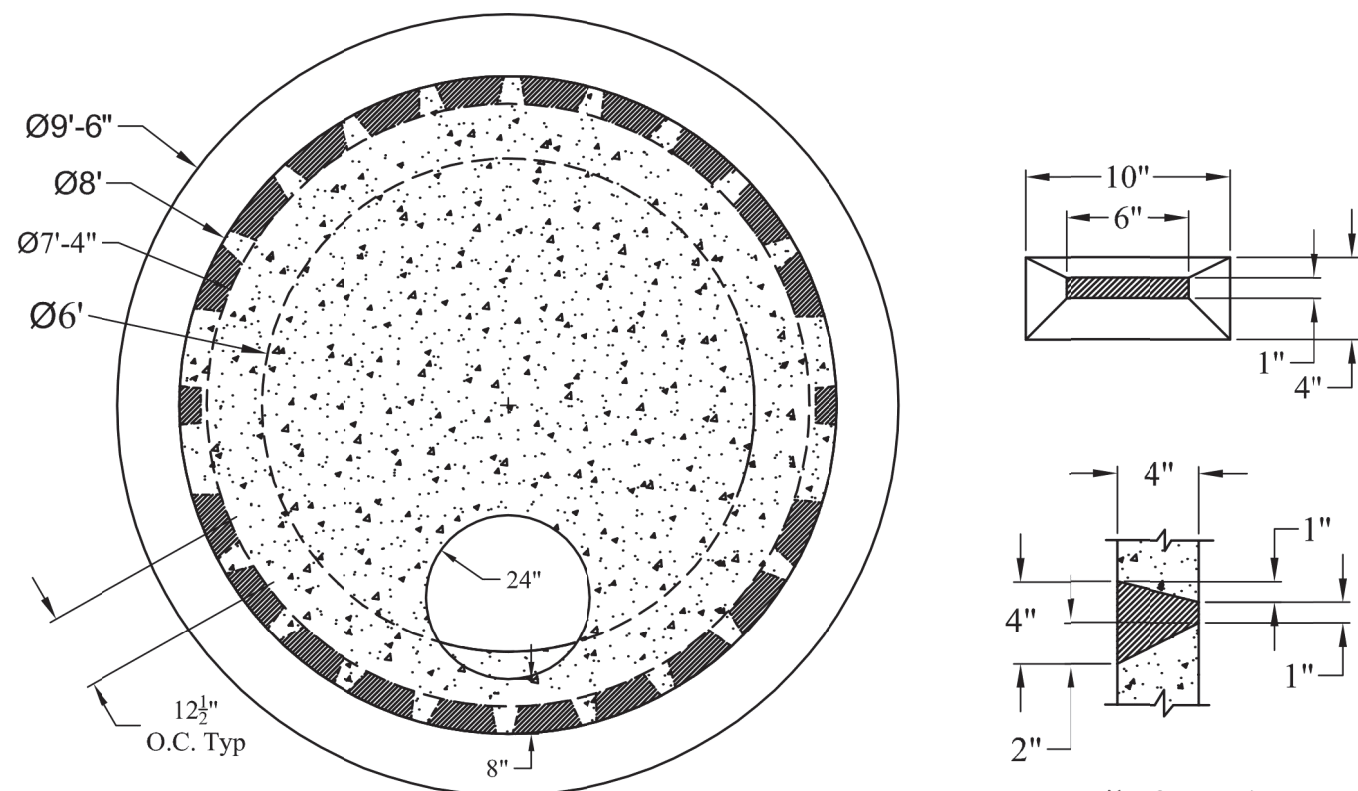




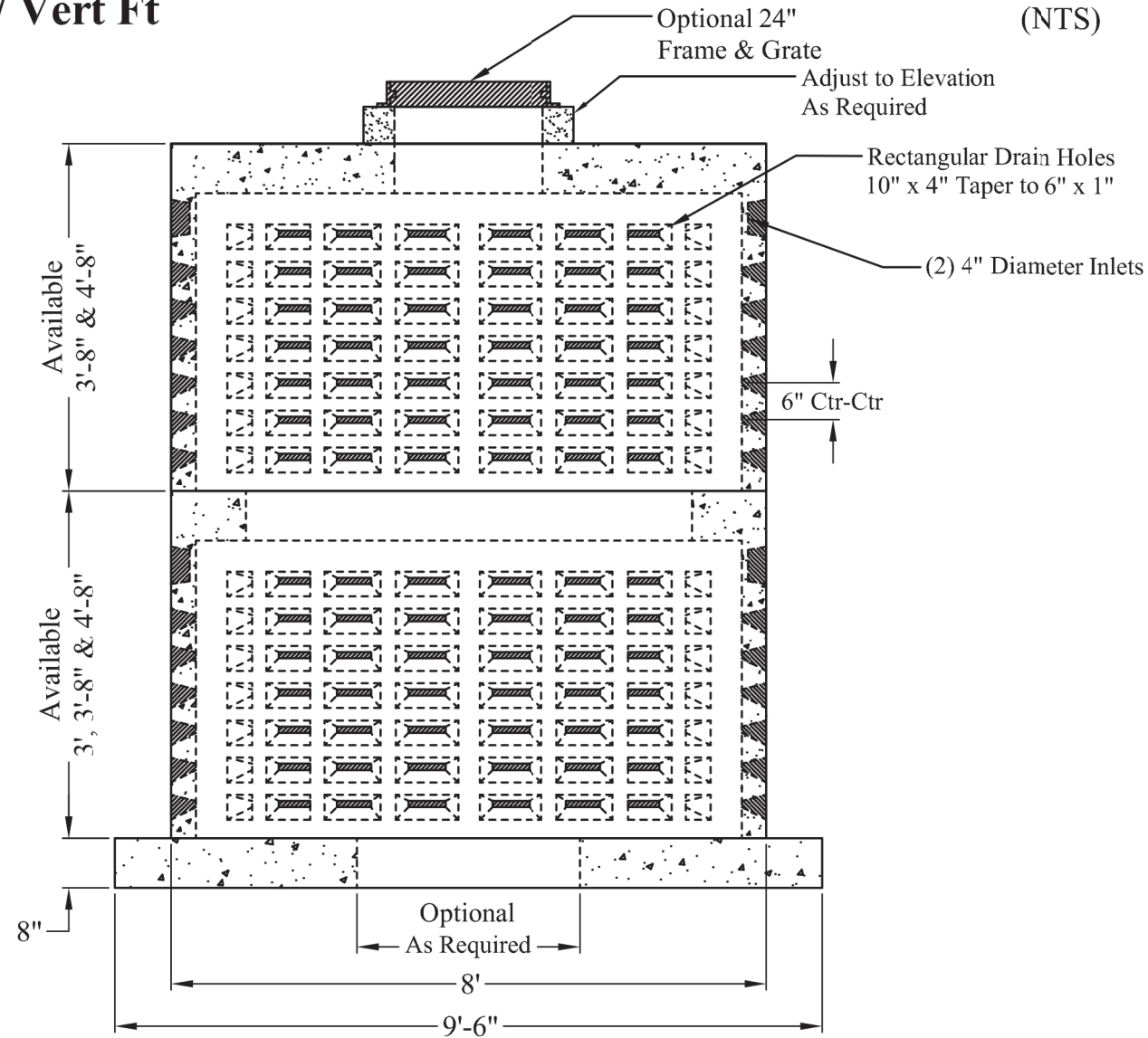




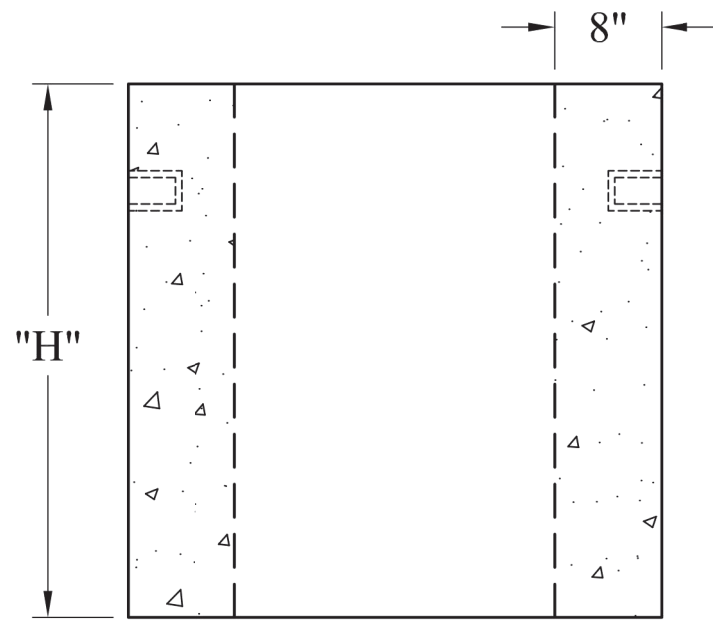
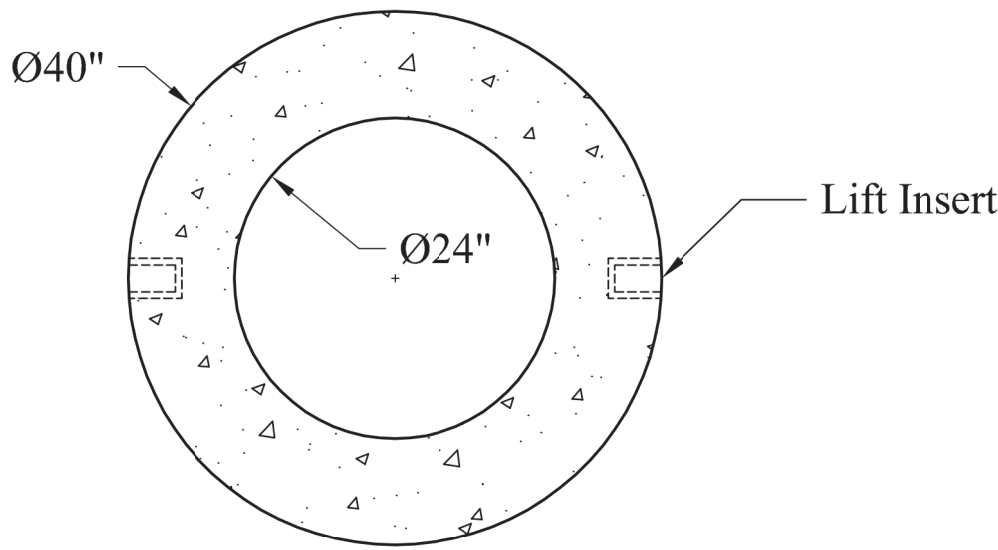
PLAN VIEW



Volume:  
316 Gals / Vert Ft



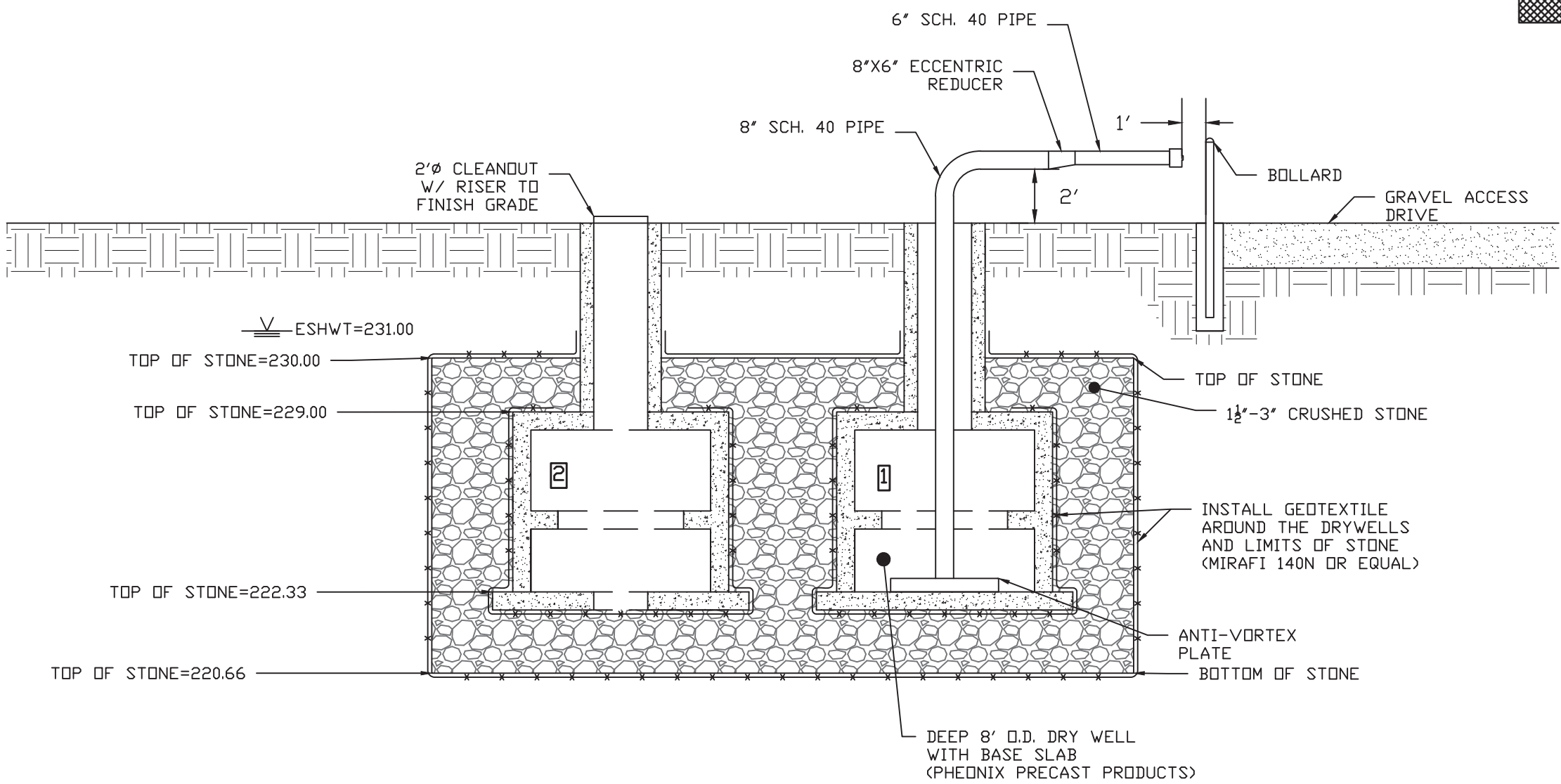
Detail of Openings  
(NTS)



- General Notes**
- 1.) Steel Reinforcement Conforms To Latest ASTM Specifications:  
ASTM A-615 Grade 60 Rebar  
ASTM A-185 Welded Wire Fabric
  - 2.) Concrete:  $f_c = 4,000$  psi @ 28 Days Minimum
  - 3.) Design Loading: AASHTO-HS20-44
  - 4.) Optional Cast Iron Covers or Concrete Covers Available
  - 5.) Hole Coring Available for Larger Diameter Pipes
  - 6.) All Sections Are Butt Joint
  - 7.) Solid Base or With An Opening As Required

Phoenix  
Precast  
Products

Deep  
8' O.D. Dry Well  
With Base Slab



SECTION A-A

Part Number:	Dim "H"	Est Weight:
GR-24	6"	420 Lbs
DIR-24X12	12"	840 Lbs
DIR-24X18	18"	1,260 Lbs
DIR-24X24	24"	1,680 Lbs
DIR-24X30	30"	2,100 Lbs
DIR-24X36	36"	2,520 Lbs
DIR-24X42	42"	2,960 Lbs
DIR-24X48	48"	3,380 Lbs
DIR-24X54	54"	3,800 Lbs
DIR-24X60	60"	4,220 Lbs

1. Concrete:  $f_c = 4,000$  psi @ 28 Days Minimum  
2. Design Loading: AASHTO- HS20-44

Phoenix  
Precast  
Products

24" Diameter Manhole  
Adjustment Risers  
HS-20 Loading

REV.	DATE	DESCRIPTION	DR	CK
1	7/14/2022	ISSUED FOR PERMIT		
2				
3				
4				
5				
6				
7				
8				
9				
10				

COMMUNITY AT  
VILLAGE BROOK  
CISTERN EXHIBIT

VILLAGE BROOK, LLC.  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE

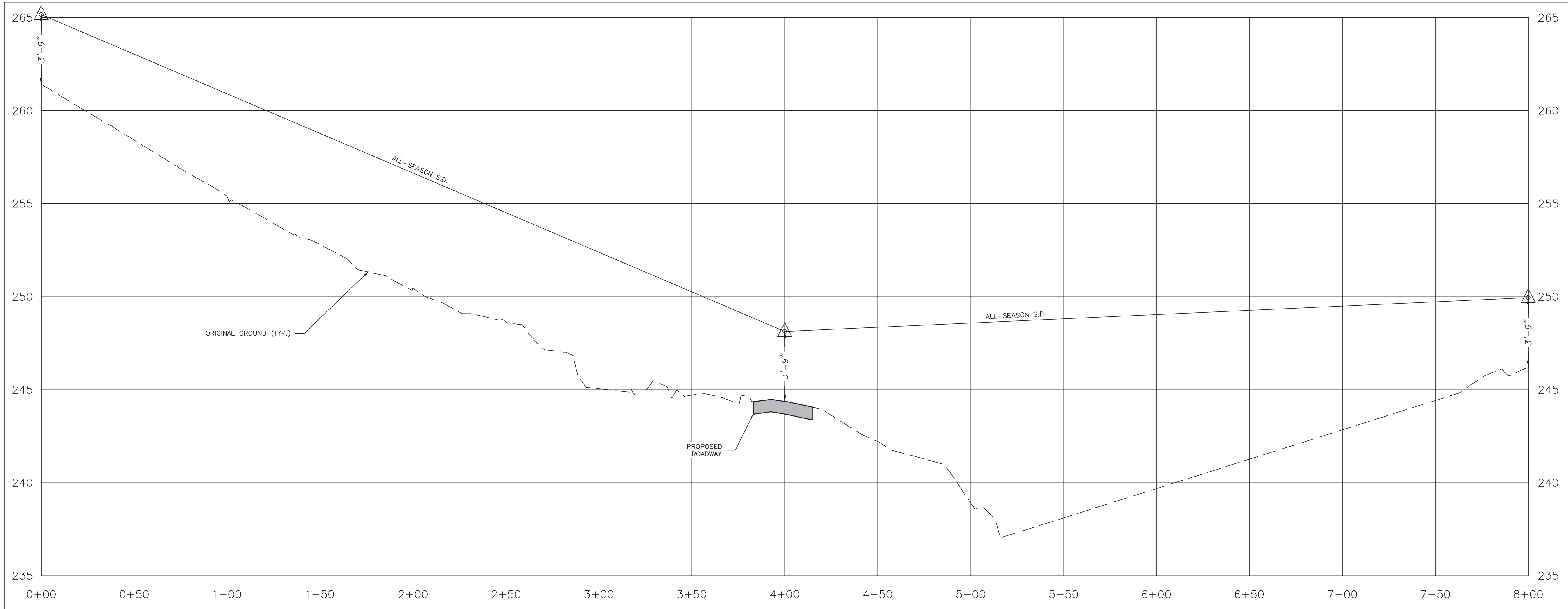
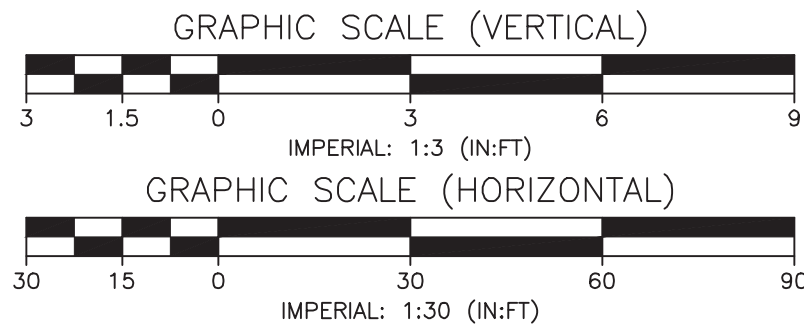
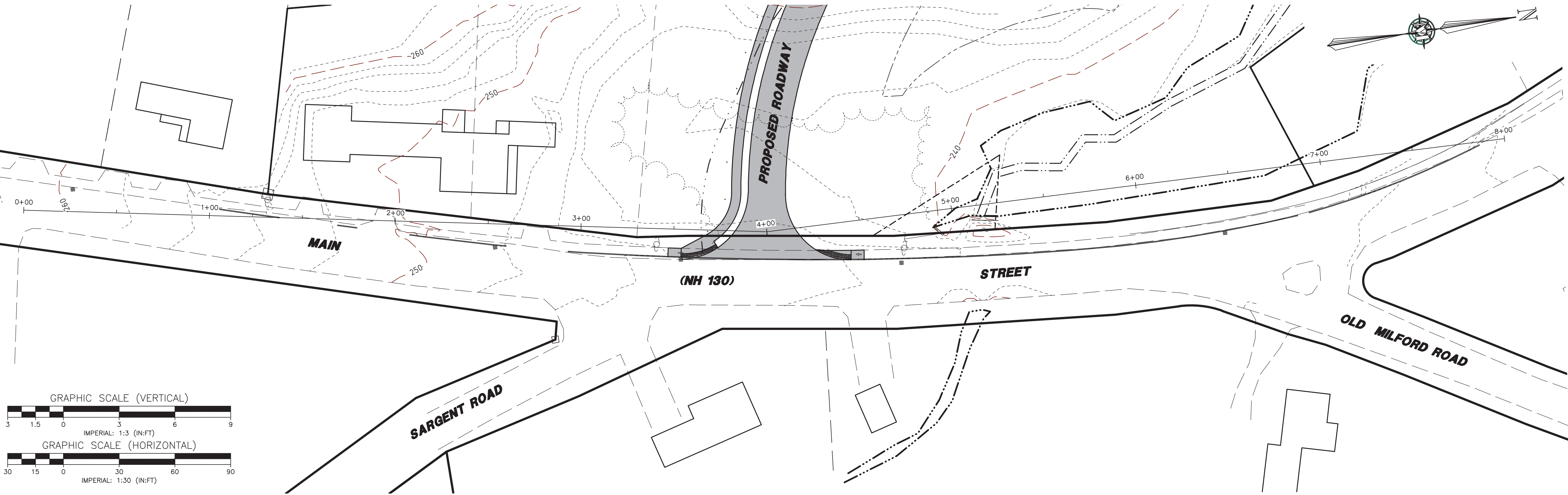
SCALE: NONE

**D-5**  
SHEET

FILE:	3077V050.dwg
PROJECT:	03077.05
SHEET NO.	16 OF 16



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ENGINEERING | SURVEYING | PERMITTING  
SOIL & WETLAND MAPPING | SEPTIC DESIGN  
31 OLD NASHUA ROAD, AMHERST, NH 03031  
TEL: 603-673-1441  
FAX: 603-673-1584  
MERIDIANLANDSERVICES.COM

REV.	DATE	DESCRIPTION	DR	CK
1	H			
2	G			
3	F			
4	E			
5	D			
6	C			
7	B			
8	A			

COMMUNITY AT VILLAGE BROOK  
SIGHT DISTANCE EXHIBIT

JAY CHRYSTAL  
23 MAIN STREET  
TAX MAP H PARCEL 42  
BROOKLINE, NEW HAMPSHIRE  
SCALE: 1" = 30'(HORIZ.)/3'(VERT.)

**SD-1**  
SHEET  
FILE: 3077P05B.dwg  
PROJECT: 03077.05  
SHEET NO. 1 OF 1