COMMUNITY AT VILLAGE BROOK

VILLAGE BROOK, LLC.

TAX MAP H PARCEL 42 23 MAIN STREET **BROOKLINE, NEW HAMPSHIRE** REVISED AUGUST 9, 2022

MUNICIPAL CONTACTS:

TOWN PLANNER

MICHELE DECOTEAU 1 MAIN STREET BROOKLINE, NH 03033 (603) 673-8855 x215

FIRE DEPARTMENT

CHARLIE COREY, CHIEF 4 BOND STREET PO BOX 660 BROOKLINE, NH 03033

(603) 672-8531 (NON EMERGENCY)

POLICE DEPARTMENT

WILLIAM QUIGLEY III, CHIEF 3 POST OFFICE DRIVE PO BOX 341 BROOKLINE, NH 03033 (603) 673-3755 (NON-EMERGENCY)

BUILDING INSPECTOR

STEVE SACHERSKI 1 MAIN STREET

(603) 673-8855 x212

PROFESSIONAL CONTACTS:

CIVIL ENGINEER

DOUGLAS V BRODEUR, PE MERIDIAN LAND SERVICES, INC. PO BOX 118 MILFORD, NH 03055 (603) 673-1441

LAND SURVEYOR

RANDOLPH A HAIGHT, LLS MERIDIAN LAND SERVICES, INC. PO BOX 118 MILFORD, NH 03055

THOMAS C CARR, CWS/CSS MERIDIAN LAND SERVICES, INC. PO BOX 118

BROOKLINE, NH 03033

(603) 673-1441

WETLAND & SOIL SCIENTIST

MILFORD, NH 03055 (603) 673-1441

D	8/9/22	TOWN/STATE REVIEW COMMENTS		TRY	TRY
С	7/6/22	TOWN REVIEW COMMENTS		JJA	TRY
В	6/13/22	STATE REVIEW COMMENTS		BLR	TRY
Α	5/13/22	TOWN PB SUBMISSION		TRY	TRY
REV.	DATE	DESCRIPTION	C/0	DR	CK

SCALE 1=400'

MERIDIAN DESIGN PROFESSIONALS:

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LIGHTING PLAN

LANDSCAPING

CONSTRUCTION DETAILS DRAINAGE DETAILS

EROSION & SEDIMENTATION CONTROL DETAILS

SUBSURFACE TEST PIT AND GEOTECHNICAL BORING LOGS **CISTERN DETAILS**

PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

A. BROOKLINE ZONING BOARD OF ADJUSTMENT VARIANCE APPROVAL (CASE 439A).

B. BROOKLINE PLANNING BOARD NON-RESIDENTIAL SITE PLAN (NRSP), PENDING. C. NHDES ALTERATION OF TERRAIN PERMIT, PENDING.

D. NHDES CONSTRUCTION APPROVAL (SEPTIC), PENDING. E. NHDOT DRIVEWAY PERMIT, PENDING

F. US EPA CONSTRUCTION GENERAL PERMIT (PROGRAMMATIC)

APPROVED BY BROOKLINE PLANNING BOARD ON: _____ CHAIRMAN:_ CERTIFIED BY SECRETARY:_

APPLICANT:
VILLAGE BROOK, LLC.
14 BEN FARNSWORTH ROAD
BROOKLINE, NH 03033

OWNER: FELIX J. AND ELEANOR MONIUS PO BOX 52 23 MAIN STREET BROOKLINE, NH 03033

Issued For: REVIEW



AUHUST 10, 2022

31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441 MERIDIANLANDSERVICES.COM FAX 603-673-1584

FILE:3077K05D.dwg

PROJECT NO. 3077.05 SHEET NO. 1 OF 16

PURPOSE OF PLAN:

TO SHOW THE IMPROVEMENTS NECESSARY TO PERMIT AND CONSTRUCT A 17 UNIT HOUSING FOR OLDER PERSONS DEVELOPMENT(HOPD).

- 1. CONTRACTOR SHALL NOTIFY 'DIG-SAFE' (1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO ANY WORK.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY.
- 3. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LABOR AND SAFETY REQUIREMENTS (IE OSHA, NIOSH, MHSA, DOL, ETC.).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (IE BUILDINGS, PAVEMENTS, STONE, ETC.) SHALL BE STABILIZED WITH LOAM AND SEED.
- 5. ALL SITE WORK SHALL CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION' (STANDARD SPEC), INCLUDING ALL REVISIONS AND ADDENDA.
- 6. UPON AWARD OF THE CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS. PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AT INTERFACES WITH PROPOSED PAVEMENTS AND EXISTING GROUND ELEVATIONS ADJACENT TO PROPOSED DRAINAGE
- OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND/OR RIGHT-OF-WAYS
- WITHOUT APPROPRIATE PERMITS. 9. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF

UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) INCLUDING ALL REVISIONS AND ADDENDA.

- 10. AREAS DISTURBED BY CONTRACTOR OUTSIDE OF THE LIMITS OF WORK SHALL BE RESTORED BY CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. 'ORIGINAL CONDITION' SHALL BE DETERMINED BY PROJECT CIVIL ENGINEER FOR ONSITE AREAS, AND THE TOWN OF AMHERST FOR OFFSITE AREAS.
- 11. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MEDIA ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, CONTRACTOR SHALL STOP ALL OPERATIONS IN THE VICINITY OF THE SUSPECTED CONTAMINATION AND CONTACT OWNER IMMEDIATELY.
- 12. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS, AND CORRECTIVE ACTION.
- 13. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL EXPENSE
- 14. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE EFFECTS TO
- OFFSITE AREAS AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE AT NO ADDITIONAL EXPENSE TO OWNER. 15. THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE
- ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. CONTRACTOR SHALL CONFIRM THAT OWNER HAS ALSO FILED AN NOI.
- 16. SNOW SHALL BE STORED ONSITE IN THE AREAS DESIGNATED ON THE DRAWINGS. EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 17. IN THE EVENT OF CONFLICTING STANDARDS, SPECIFICATIONS, REGULATIONS, ETC. THE HIGHER REQUIREMENT SHALL
- 18. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM OWNER PRIOR TO PERFORMING ANY ADDITIONAL SERVICES OR WORK, NOT SHOWN ON THE PROJECT DRAWINGS, OR CONTAINED IN THE PROJECT DOCUMENTS. FAILURE TO OBTAIN AUTHORIZATION PRIOR TO PERFORMING WORK, MAY INDEMNIFY OWNER FROM ADDITIONAL EXPENSES AND COSTS BORNE BY CONTRACTOR.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDINGS, FACE OF WALLS, CENTER OF PIPE, AND CENTER OF PAVEMENT MARKINGS, UNLESS OTHERWISE INDICATED, AND AS FOLLOWS:
- SIDEWALK WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK; B. PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
- 2. CURB RADII ARE FIVE FEET (5') UNLESS OTHERWISE INDICATED.
- CURBING SHALL BE ASPHALTIC CAPE COD BERM (CCB) UNLESS OTHERWISE INDICATED.
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT STRUCTURE DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, STAIRWAYS, ENTRANCES, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD. LOADING DOCKS. BOLLARDS. ETC.
- 5. EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED
- 6. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET. THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING
- 7. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- 9. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS. BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT

UTILITIES:

- 1. LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. OWNER OR ITS REPRESENTATIVE(S) HAVE NOT NECESSARILY INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE DRAWINGS, AND AS FOLLOWS:
- A. UTILITY INFORMATION OR OTHER DATA SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE OR SERVICEABILITY OF UTILITIES;
- B. DOES NOT GUARANTEE THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT, WHICH MAY NOT BE SHOWN ON THE DRAWINGS;
- PRIOR TO ORDERING MATERIALS CONTRACTOR SHALL:
- i. VERIFY AND DETERMINE EXACT LOCATIONS, SIZES, ELEVATIONS, AND MATERIAL TYPES OF EXISTING UTILITIES AT POINTS OF CONNECTIONS;
- ii. SHALL CONFIRM THAT THERE ARE NOT INTERFERENCES WITH EXISTING UTILITIES AND PROPOSED ROUTES. 2. WHERE EXISTING UTILITIES ARE FOUND TO CONFLICT WITH PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS, SUCH THAT WORK CANNOT BE COMPLETED AS INTENDED ON THE
- A. CONTACT OWNER AND DESIGNATED REPRESENTATIVE(S), WITHOUT DELAY BY CONTRACTOR, AND FURNISH THE FOLLOWING INFORMATION AS FOLLOWS:
- i. IN WRITING;
- ACCURATE LOCATION, ELEVATION, SIZE, TYPE, AND MATERIAL OF THE UTILITY; B. FAILURE OF CONTRACTOR TO NOTIFY OWNER, MAY INDEMNIFY OWNER OF ANY ADDITIONAL COSTS, CHANGE
- ORDERS, OR FEES BORNE BY CONTRACTOR AND AS FOLLOWS: IN A TIMELY FASHION OR PER THE CONTRACT DOCUMENTS FOR RESOLUTION OF A CONFLICT;
- PERFORMING ADDITIONAL WORK OR DIFFERENTIATION FROM THE CONTRACT DOCUMENTS, WITHOUT
- ATTAINING AUTHORIZATION FROM OWNER. 3. LOCATION, SIZE, DEPTH AND CONSTRUCTION SPECIFICATIONS OF PROPOSED PRIVATE UTILITIES AND SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS OF THE RESPECTIVE PRIVATE/PUBLIC UTILITY COMPANY (IE SEWER, WATER, GAS, TELEPHONE, ELECTRIC, CABLE, FIRE ALARM, SECURITY ALARM, ETC.), FINAL DESIGN LOADS

SHALL BE COORDINATED BY OWNER, ARCHITECT, OR RESPECTIVE TRADE RESPONSIBLE FOR CONSTRUCTION OF SAID

- UTILITY (IE ELECTRICIAN, PLUMBER, PIPE FITTER, ETC.). 4. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE INDICATED:
- A. POTABLE WATER: POLYETHYLENE (PE) DIAMETER RATIO 9 (DR-9), PRESSURE CLASS 250 PSI;
- B. SANITARY SEWER/ SEPTIC:

DRAWINGS, THE CONTRACTOR SHALL:

- i. GRAVITY: POLYVINYLCHLORIDE (PVC) STANDARD DIAMETER RATIO 35 (SDR-35);
- ii. FORCE MAIN: POLYETHYLENE (PE) DIAMETER RATIO 9 (DR-9), PRESSURE CLASS 250 PSI; C. STORM SEWER: DUAL WALL, SMOOTH INTERIOR, WATER TIGHT, HIGH DENSITY POLYETHYLENE (HDPE).
- 5. WHERE SEWER PIPES CROSS WATER PIPES, AND ONE AND ONE HALF FEET (1.5') OF SEPARATION (FROM OD TO OD), WHERE THE WATER PIPE IS ABOVE THE SEWER PIPE, CANNOT BE ACHIEVED. THE SEWER PIPE SHALL BE:
- CLASS 52 DUCTILE IRON FOR A MINIMUM OF TEN FEET (10') TO EITHER SIDE OF THE WATER PIPE;
- F. SHALL BE A CONTINUOUS PIECE OF PIPE WITH NO JOINTS;
- G. SHALL BE IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS AND PER THE CONTRACT DOCUMENTS.

- STORM AND SANITARY SEWER STRUCTURES SHALL HAVE A MINIMUM INTERIOR DIAMETER OF FOUR FEET (4'). THE FINAL INTERIOR DIAMETER SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE SIZES AND CONFIGURATIONS SHOWN ON THE DRAWINGS.
- 7. GRATES, COVERS, VALVE COVERS, GAS GATES, PULL BOX COVERS SHALL BE SET AND/OR RESET AS FOLLOWS:
- A. PAVEMENT SURFACES: FLUSH B. SURFACES WITHIN ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, TURF, OR OTHER EARTH SURFACES: ONE INCH (1") ABOVE FINAL GRADE, WITH EARTH TAPERED UP TO THE FINAL COVER/RIM ELEVATION.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH AND PAYING FEES ASSOCIATED FOR RELOCATING AND/OR ALTERATION TO UTILITY POLES AND ABOVE AND/OR UNDERGROUND UTILITIES (IE GAS, TELEPHONE, ELECTRIC, CABLE, FIRE/SECURITY ALARM, ETC.), IRRESPECTIVE OF WHETHER THE WORK IS PERFORMED BY THE

CONSTRUCTION SEQUENCE:

- 1. SURVEY AND MARK LIMITS OF WORK;
- 2. MARK ALL WETLAND BOUNDARIES WITH CONSTRUCTION FENCING;
- 3. PRIOR TO THE START OF WORK:
 - A. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH TOWN ENGINEER AND OTHER INVOLVED PARTIES.
 - B. INSTALL/CONSTRUCT EROSION CONTROL MEASURES (IE SILTATION FENCE, CHECK DAMS, INLET/OUTLET PROTECTION, ETC.) AS INDICATED BY THE APPROVED SWPPP AND EROSION CONTROL PLANS, AND AS DEEMED NECESSARY BY THE OWNER. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND THROUGHOUT THE DURATION OR WORK, AND AS REQUIRED BY NHDES AND THE SWPPP;
 - C. INSTALL TRAFFIC/PEDESTRIAN CONTROL SIGNS, BARRIERS, AND APPURTENANCES AS NECESSARY.
- D. CONTACT DIG-SAFE (1-888-DIGSAFE), A MINIMUM OF 72 HOURS, PRIOR TO ANY EARTH MOVING OR EXCAVATION OPERATIONS.
- 4. INSTALL TEMPORARY UTILITY SERVICES AS REQUIRED.
- 5. STORMWATER PONDS, INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE.
- 6. INSTALL PROPOSED UTILITIES AS REQUIRED.

8. PREPARE ROADWAY AND SIDEWALK BASES.

- 7. REMOVE FEATURES AS NECESSARY AND WHEN APPROPRIATE.
- 9. ADJUST GRATES, COVERS, AND RIMS AS NECESSARY FOR PAVING;
- 10. INSTALL CURBING, AND ROADWAY AND SIDEWALK PAVEMENTS;
- 11. PERFORM ALL REMAINING WORK;
- 12. FINISH GRADE AND RESTORE AREAS OUTSIDE OF THE WORK AREAS DISTURBED BY WORK, INCLUDING BUT NOT LIMITED TO, LAWNS, LANDSCAPE AREAS, WALKS, AND OTHER PRIVATE/PUBLIC FEATURES, DAMAGED BY WORK;
- 13. REMOVE TEMPORARY EROSION CONTROL MEASURERS, AFTER AREAS THEY ARE SERVICING HAVE BECOME STABILIZED;
- 14. CLEAN ALL STORM SEWER BASINS, STRUCTURES, PIPES, AND APPURTENANCES OF ANY SILT AND DEBRIS. OUTLET POINTS SHALL BE PROTECTED TO PREVENT AND ADVERSE DOWNSTREAM IMPACTS.
- 15. CONDUCT FINAL CLEANUP, ANY ANCILLARY WORK, AND DEMOBILIZATION EFFORTS AS REQUIRED.

WILDLIFE PROTECTION NOTES:

- 1. ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES <u>SHALL BE REPORTED IMMEDIATELY</u> TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NHB22-0277, HOUSING FOR OLDER PERSONS DEVELOPMENT, WILDLIFE SPECIES OBSERVATION.
- 2. PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHF&G IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- 3. IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED. HANDLED. OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHF&G AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHF&G. IF ANY. TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
- 4. THE NHF&G, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

EXISTING LEGEND:

── RIGHT-OF-WAY SIDELINE PROPERTY LINE ——— TOWN LINE HIGHWAY CENTERLINE --- ABUTTING LOT LINE ---- FORMER TRACT LINE — - - - - - EASEMENT LINE ---- BUILDING SETBACK LINE — — — — — EDGE OF PAVEMENT EXISTING GRAVEL ROAD ------OH ------ EXISTING OVERHEAD UTILITIES ───── T ──── EXISTING TELEPHONE LINE ---- W ----- EXISTING WATER LINE ---- EXISTING GAS LINE −−−− S −−−−− EXISTING SEWER LINE ———— EDGE OF WETLANDS ==:==:== EDGE OF WATER

---- U.S.D.A. SOILS BOUNDARY · STONE WALL

— — — — 10' CONTOUR INTERVAL ----- 2' CONTOUR INTERVAL EXISTING TAX MAP AND LOT NUMBER

EXISTING BUILDING

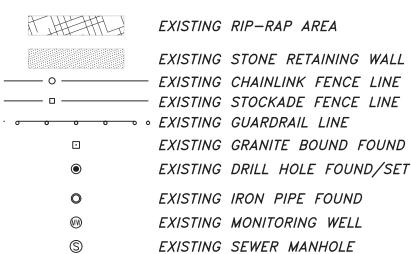
TEST PIT DATA DEPTH—LEDGE FOUND DEPTH—SEASONAL HIGH WATER FOUND -----

4,000 S.F. SEPTIC AREA

PROPOSED STREET NUMBER

1------———— SEPTIC SETBACK LINE

EXISTING TREE LINE



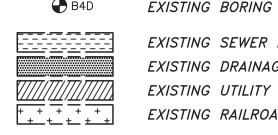
EXISTING DRAIN MANHOLE EXISTING TELEPHONE MANHOLE EXISTING MANHOLE EXISTING CATCH BASIN SQUARE

EXISTING CATCH BASIN ROUND EXISTING LIGHT

EXISTING SINGLE POST SIGN EXISTING DOUBLE POST SIGN EXISTING WATER HYDRANT EXISTING WATER VALVE

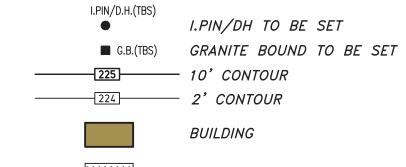
EXISTING SHUT-OFF EXISTING WELL EXISTING GAS VALVE EXISTING FLAG POLE

EXISTING MAILBOX EXISTING WETLAND FLAG EXISTING BENCHMARK SET EXISTING BOULDERS



EXISTING SEWER EASEMENT EXISTING DRAINAGE EASEMENT EXISTING UTILITY EASEMENT EXISTING RAILROAD EASEMENT

PROPOSED LEGEND:



STORMWATER BASIN

ASPHALT SURFACE

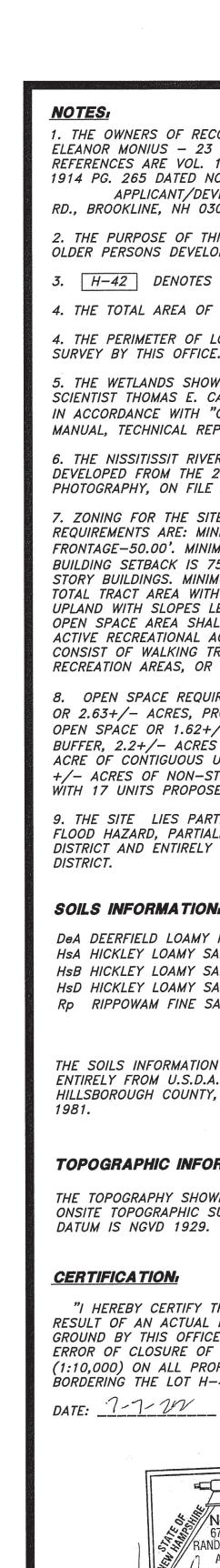


00K BR EN GELEG VILLA(ES & L 42 SOOK, LL STREET PARCEL W HAMF VILLAGE BRC 23 MAIN S TAX MAP H P OOKLINE, NEW

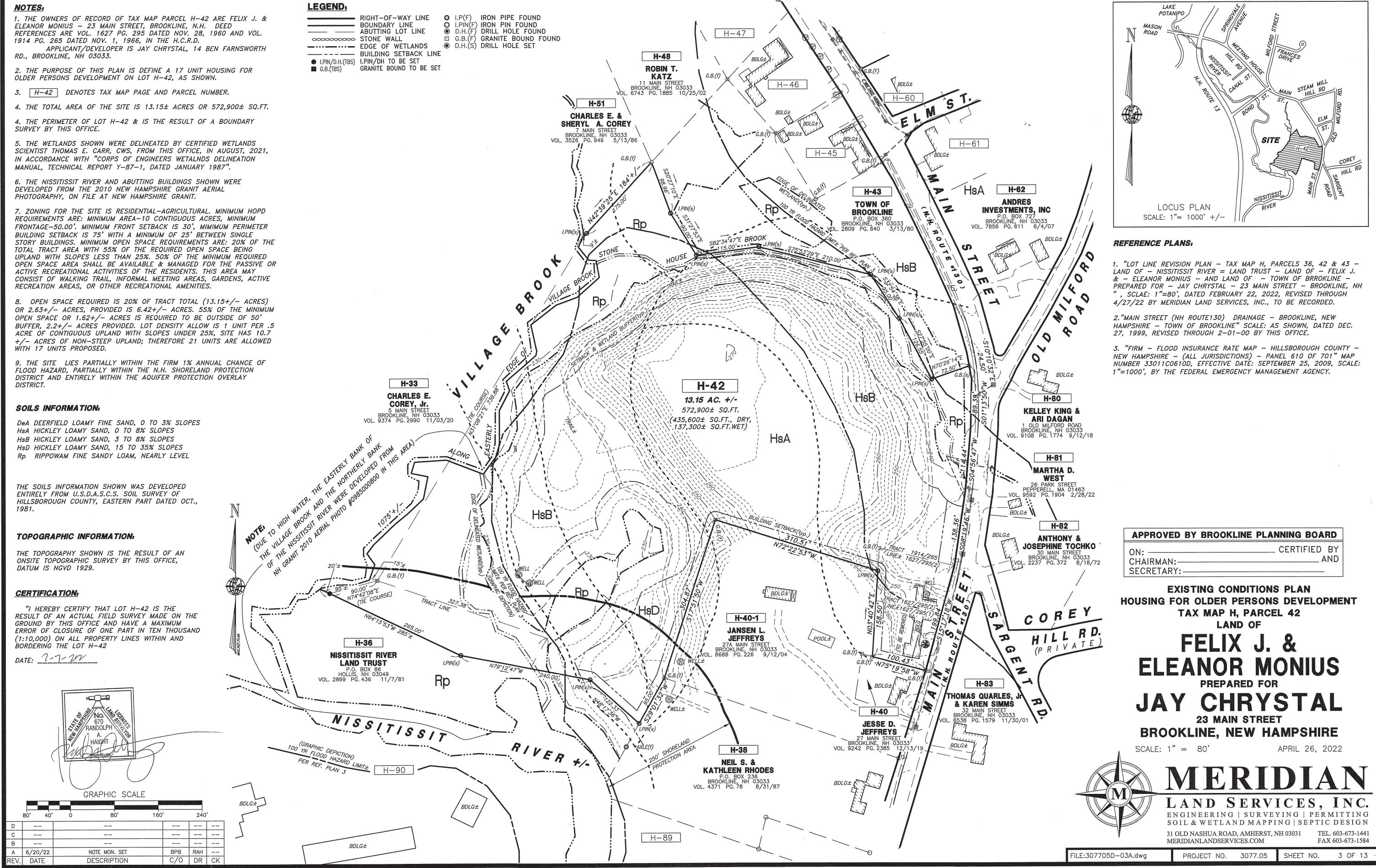
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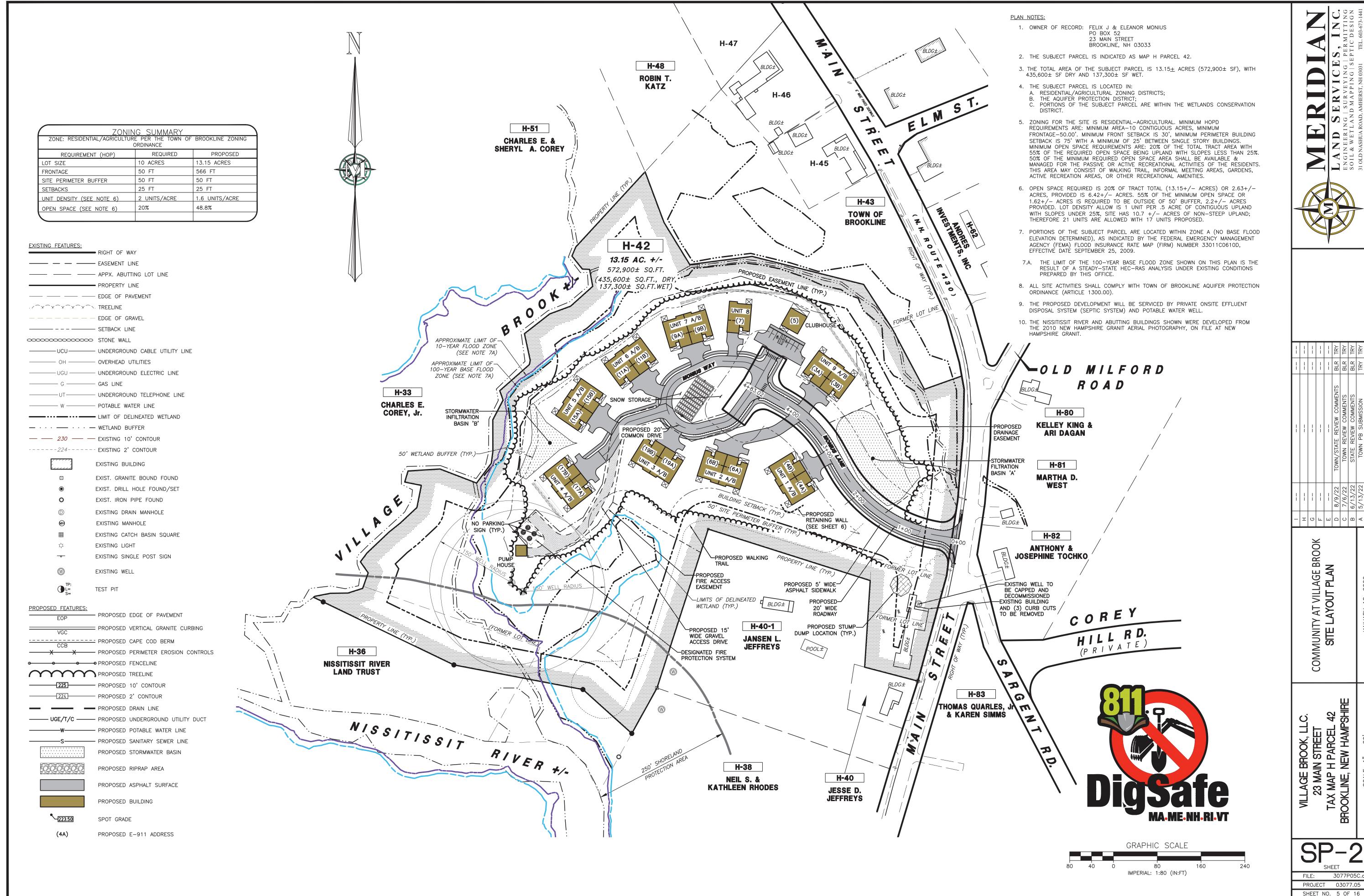
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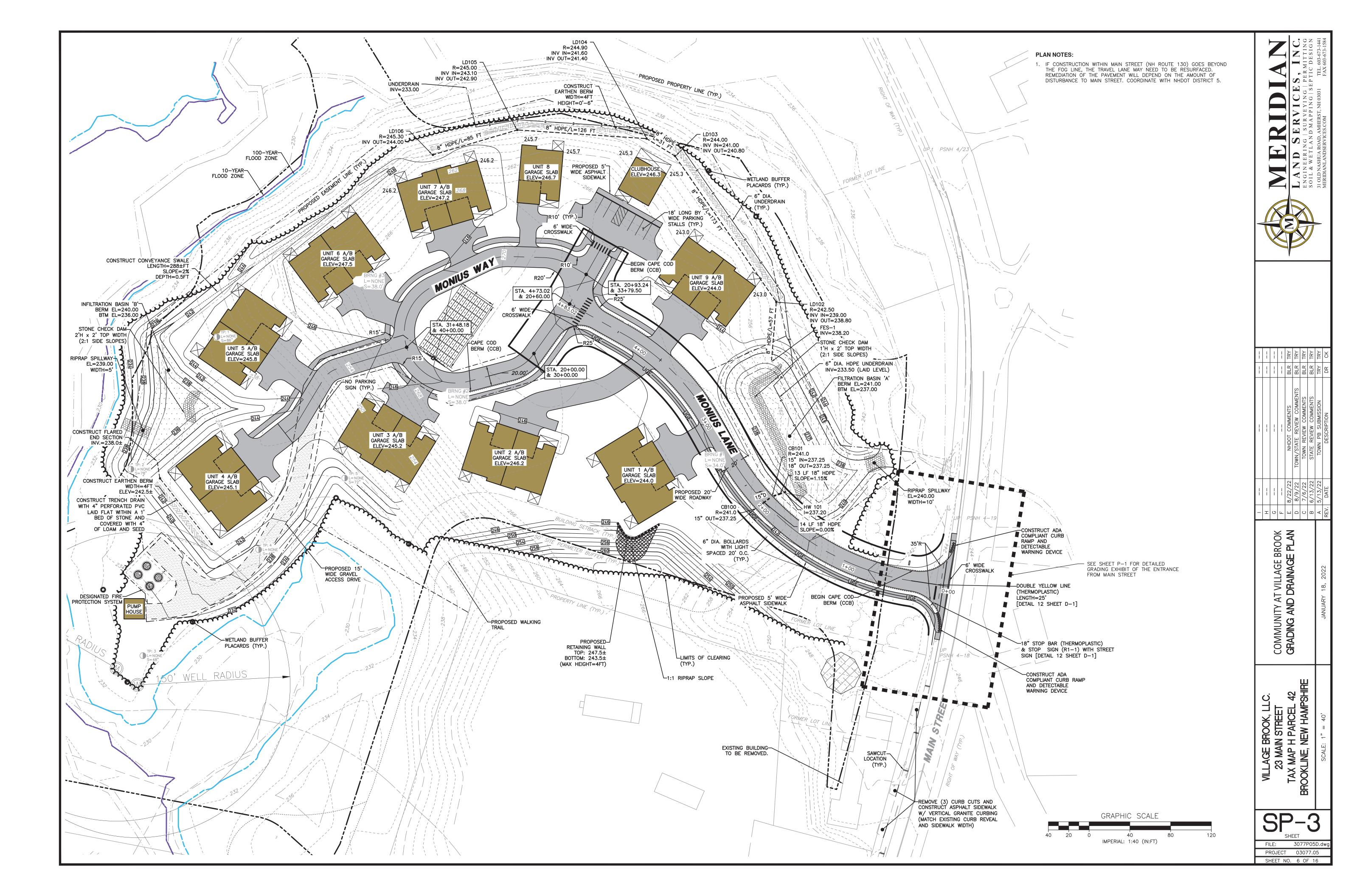


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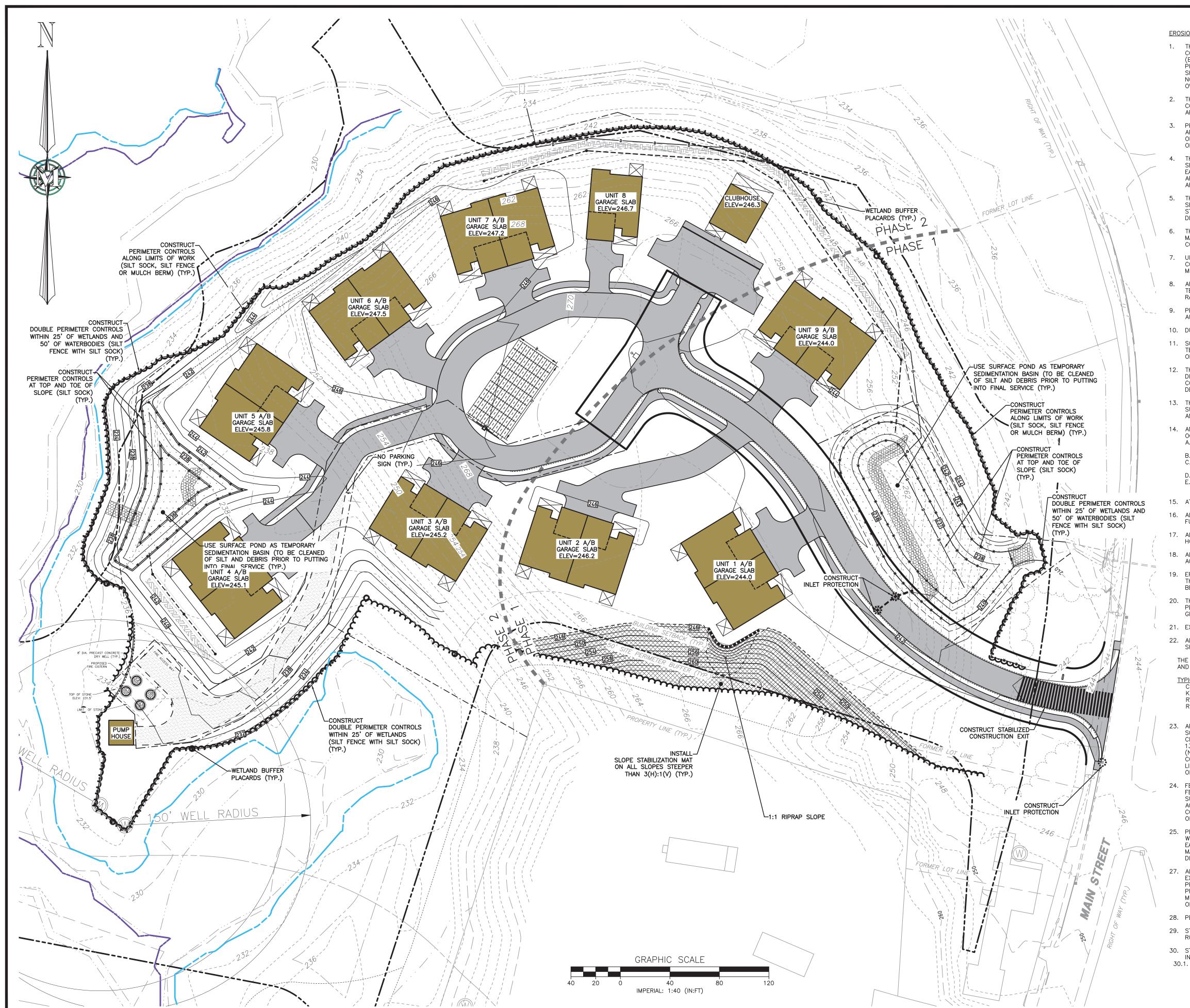




FILE: 3077P05C.dw PROJECT 03077.05







- 1. THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOi) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.
- 2. THE EROSION CONTROL MEASURES SHOWN ARE DIAGRAMMATIC, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLACE THE PERIMETER CONTROL MEASURES IN THE
- 3. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES, AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS, AND SHALL COORDINATE PRE-CONSTRUCTION MEETING WITH THE TOWN
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS (IE WETLANDS, STREAMS, ETC.) WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITED.
- THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
- AREAS REMAINED UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
- PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
- 10. DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
- 11. SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR COMPOST SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.
- 12. THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).
- 13. THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.
- 14. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT WEIGHT;
- B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED; A MINIMUM OF 3-IN OF NON EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED; THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.
- 15. AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.
- 16. ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
- 17. ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- 18. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FT HORIZONTAL TO 1-FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPRÓVED EQUAL.
- 20. THE CONTRACTOR SHALL APPLY FOR AND RECEIVE AN NHDES GROUNDWATER DISCHARGE PERMIT, PRIOR TO CONDUCTING ANY DEWATERING EFFORTS AND/OR PUMPING OF
- 21. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- 22. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT. AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED SLOPE SEED
CREEPING RED FESCUE 0.87 LBS. | CREEPING RED FESCUE 1.01 LBS. KENTUCKY BLUEGRASS 0.71 LBS. RYE GRASS 0.75 LBS. 0.58 LBS. RED TOP RYE GRASS 0.18 LBS. 0.14 LBS. ALSIKE CLOVER RED TOP 0.18 LBS. BIRDSFOOT TREFOIL 0.18 LBS. 23. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF

- SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
- 24. FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
- 25. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- 27. ALL MANUFACTURED EROSION AND SEDIMENTATION CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION. RUNOFF DIVERSION. SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, MULTI-FILAMENT, OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES. \
- 28. PERIMETER CONTROLS MUST BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
- 29. STORMWATER PONDS INFILTRATION BASINS AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING OF THE SITE.
- 30. STUMPS THAT ARE REMOVED FROM SITE SHALL BE MULCHED AND USED APPROPRIATELY IN APPLICABLE EROSION CONTROLS (MULCH BERM). 30.1. ANY STUMPS NOT UTILIZED FOR EROSION CONTROLS SHALL BE REMOVED FROM THE SITE OR BURIED IN THE SPECIFIED "STUMP DUMP" LOCATIONS.

EROSION AND SEDIMENTATION CONTROL NOTES



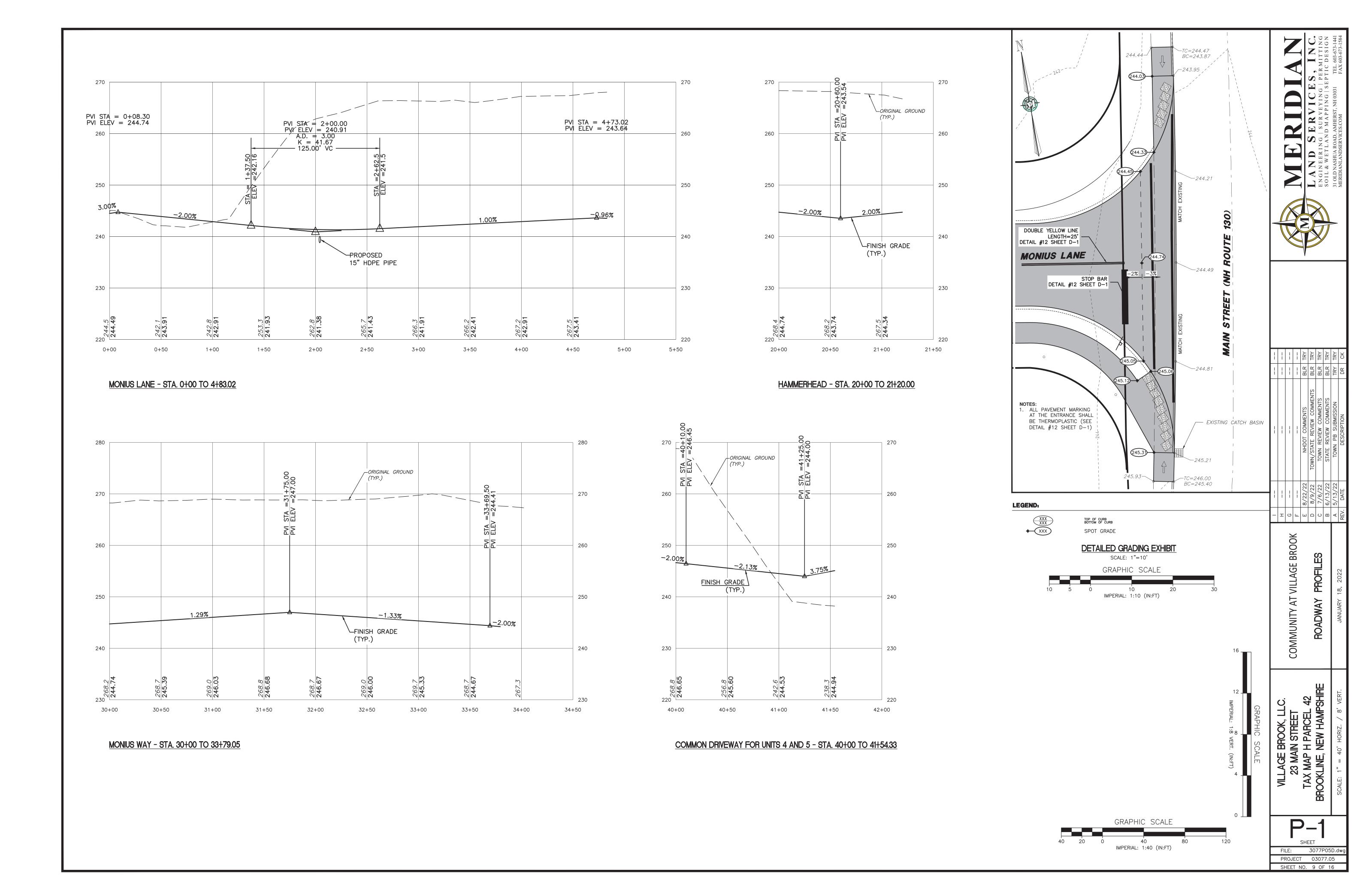
BLR BLR TRY

BROOK, LI AIN STREET H PARCEL NEW HAM

COMMUNITY AT VILLAGE BROOK
EROSION AND SEDIIMENTATION
CONTROL PLAN

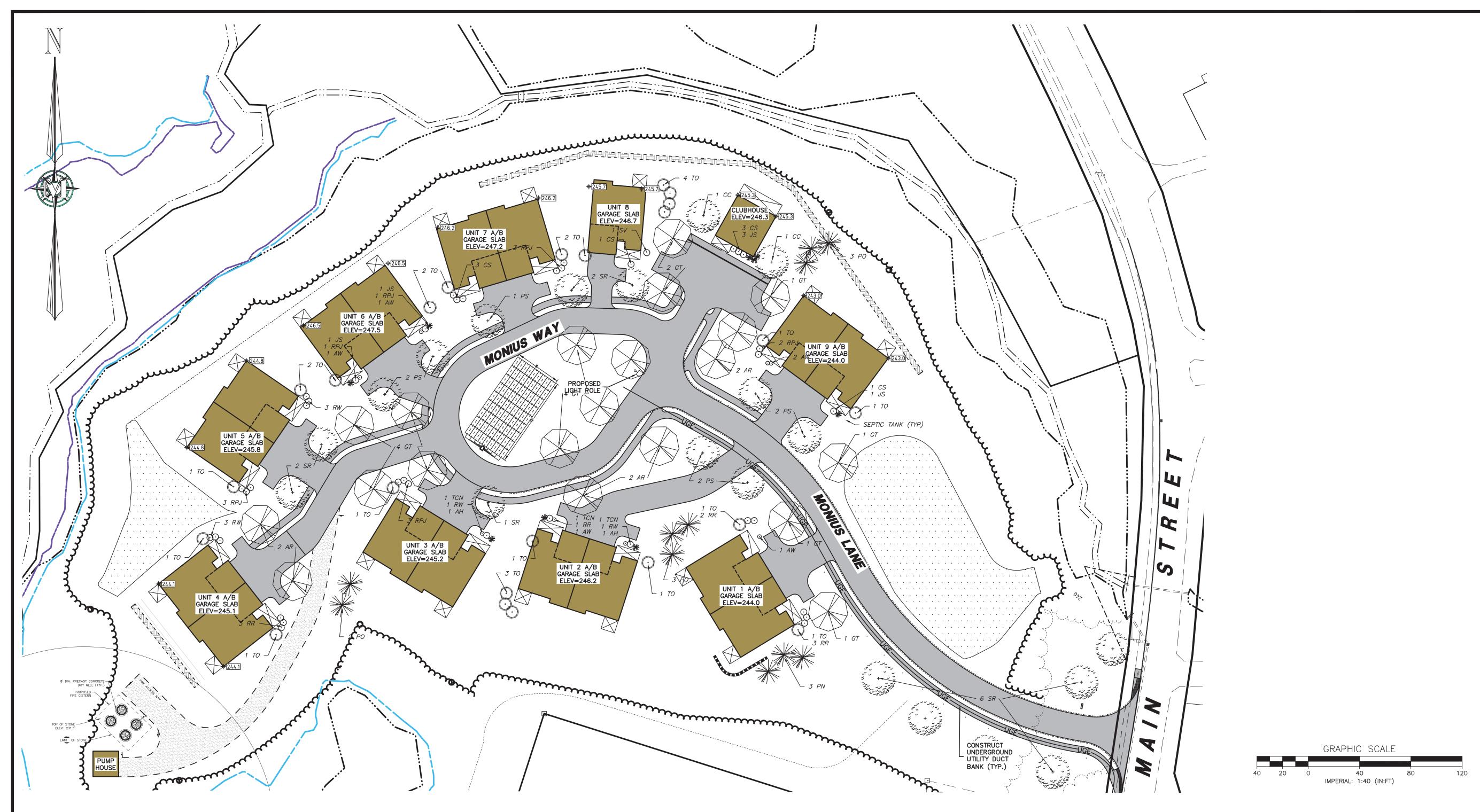
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PROJECT 03077.05 SHEET NO. 8 OF 16



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PLANT LIST

KEY	QTY.	BOTANICAL NAME (TREES)	COMMON NAME	SIZE
AR	6	ACER RUBRUM	OCOTBER GLORY RED MAPLE	2½ - 3" CAL
CC	2	CERCIS CANADENSIS	REDBUD	2 - 2½"CAL
GT	14	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	2½ - 3" CAL
PN	3	PINUS NIGRA	AUSTRIAN PINE	6'
PO	8	PICEA OMORIKA	SERBIAN SPRUCE	6'
PS	7	PRUNUS SERRULATA	KWANZAN CHERRY	2 - 2½" CAL
70	23	THUJA OCCIDENTALIS NIGRA	DARK AMERICAN ARBORVITAE	6'
SR	11	SYRINGA RETICULATA	JAPANESE LILAC	2 - 2½" CAL

PLANT LIST

KEY	QTY.	BOTANICAL NAME (SHRUBS)	COMMON NAME	SIZE
АН	2	AZALEA	AZALEA-RED	2'
AW	6	AZALEA DELAWARE VALLEY WHITE	AZALEA — WHITE	2'
CS	8	CHAENOMELES SPECIOSA "CAMEO"	FLOWERING QUINCE	3'
JS	6	JUNIPERUS CHINENSIS	SEAGREEN JUNIPER	3'
RR	9	RHODODENDRON — NOVA ZEMBLA	RED RHODODENDRON	3'
RPJ	13	RHODODENDRON	PJM RHODODENDRON	3'
RW	8	RHODODENDRON — BONLE DE NEIGE	WHITE RHODODENDRON	3'
TCN	3	TAXUS CUSPIDATA NANA	DWARF SPREADING YEW	3'
SV	1	SYRINGA VULGARIS	COMMON LILAC	3'

NOTES:

- PLANTING SEASON: OUT OF SEASON PLANTING SHALL BE DONE ONLY WITH PRIOR APPROVAL OF THE ARCHITECT AND DOES NOT RELIEVE THE CONTRACTOR FROM HIS GUARANTEE. THE CONTRACTOR SHALL TAKE WHATEVER MAINTENANCE PROCEDURES THAT ARE NECESSARY, AT NO EXTRA COST TO COMPENSATE FOR OUT OF SEASON PLANTING.
- 2. DELIVER IN CLOSED TRUCKS: ALL PLANT MATERIALS IN LEAF SHALL BE COVERED WITH TARPS TO PREVENT DRYING OF THE LEAVES. ROOT BALLS MUST BE KEPT DAMP AT ALL TIMES, FROM TIME OF PURCHASE TO COMPLETED INSTALLATION.
- 3. PLANT PITS SHALL BE THREE ROOT BALL DIAMETERS IN WIDTH, AND NO DEEPER THAN THE PLANT
- 4. REMOVE SOIL FROM THE TOP OF THE ROOT BALL DOWN TO THE TRUNK FLARE BY LOOSENING THE BURLAP. DIG PLANT PIT SUCH THAT THE ROOT FLARE IS ONE (1") TO TWO (2") INCHES ABOVE
- 5. FILL HOLE WITH WATER IF POOR DRAINAGE IS SUSPECTED. IF TREE PIT DOES NOT DRAIN WITHIN 24 HOURS AN ALTERNATE PLANT LOCATION SHALL BE SELECTED.
- 6. SET PLANT IN HOLE, CUT AWAY ALL VISIBLE ROPE AND BURLAP. SEE DETAILS FOR WIRE BASKET
- 7. BACKFILL HOLE WITH 1/3 LOAM, 1/3 PEAT MOSS, AND 1/3 COMPOSTED COW MANURE. WHEN BACKFILLING IS HALF COMPLETE, FILL PIT WITH WATER AND ALLOW TO DRAIN TO REMOVE AIR POCKETS. COMPLETE BACKFILLING, LEAVING ROOT FLARE EXPOSED.
- 8. WATER-HOLDING SAUCER SHALL BE BUILT UP AROUND THE PLANT PIT. FLOOD WITH WATER FOR FIVE (5) MINUTES IMMEDIATELY AFTER PLANTING.

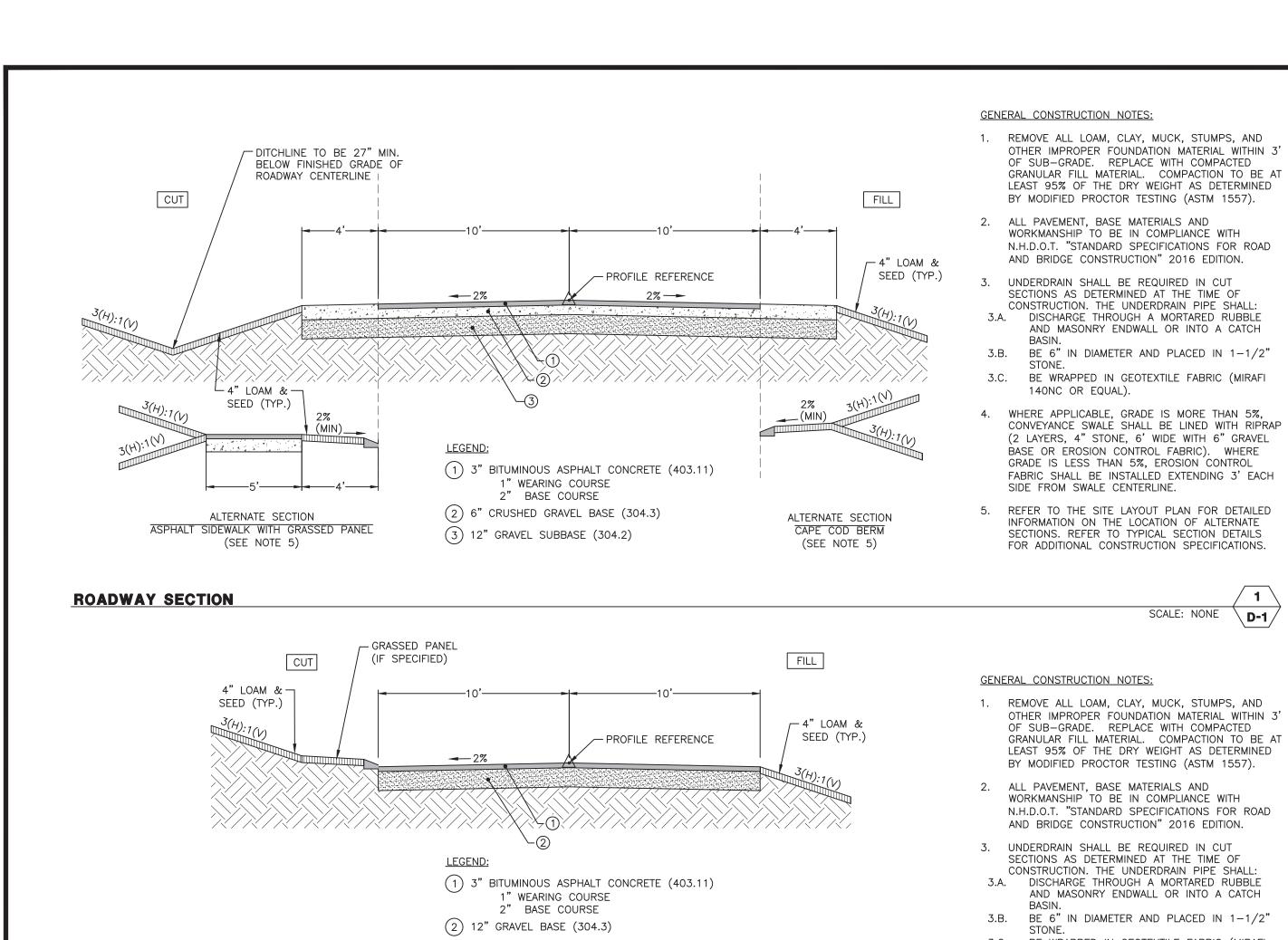
- 9. WATER PLANTS ONCE A DAY FOR THE FIRST WEEK AND ONCE A WEEK FOR THE FIRST PLANTING SEASON. WATER AT A RATE OF FIVE (5) GALLONS PER SHRUB AND TEN (10) GALLONS FOR TREE.
- 10. MULCH AREAS AROUND PROPOSED TREES AND SHRUBS. ALL PLANT BEDS SHALL BE TREATED WITH THREE (3") INCHES OF SHREDDED BARK MULCH. CUT NEAT BED EDGE AND FULLY REMOVE ALL GRASS AND WEEDS PRIOR TO MULCH APPLICATION. DO NOT MULCH AGAINST TRUNKS AND STEMS OF PLANT MATERIALS.
- 11. GUARANTEE ALL PLANTS FOR ONE (1) FULL YEAR FROM DATE OF STORE GRAND OPENING. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL PLANT MATERIALS IN A HEALTHY CONDITION THROUGH THE GUARANTEE PERIOD.
- 12. ALL PLANTING BEDS ARE INTERIOR LANDSCAPED ISLANDS SHALL HAVE A MINIMUM OF 12" LOAM BEDDING. ALL OTHER AREAS SHALL HAVE A MINIMUM OF 6" LOAM BEDDING.

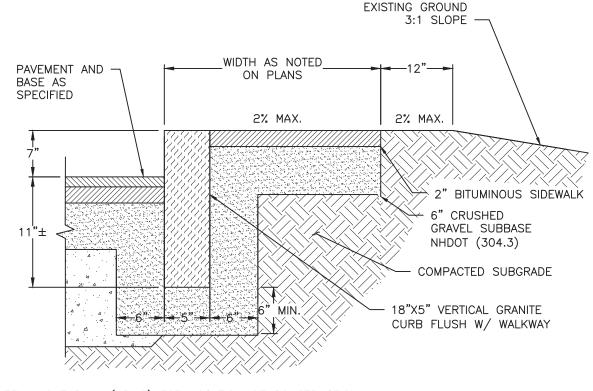
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VILLAGE BROOK APE PLAN

SHEET FILE: 3077P05C.dw

PROJECT 03077.05 SHEET NO. 11 OF 16





DISCHARGE THROUGH A MORTARED RUBBLE

AND MASONRY ENDWALL OR INTO A CATCH BE 6" IN DIAMETER AND PLACED IN 1-1/2"

BE WRAPPED IN GEOTEXTILE FABRIC (MIRAFI

SCALE: NONE

AND MASONRY ENDWALL OR INTO A CATCH

BE 6" IN DIAMETER AND PLACED IN 1-1/2"

BE WRAPPED IN GEOTEXTILE FABRIC (MIRAFI

SCALE: NONE

140NC OR EQUAL).

140NC OR EQUAL).

1. SEE SITE LAYOUT PLAN (SP-2) FOR LOCATION OF CONSTRUCTION.

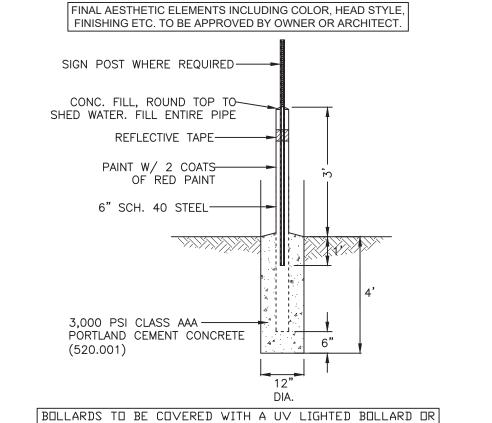
- DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN: CROSS-SLOPE SHALL BE NO LESS THAN 1% AND NO GREATER THAN 2%.
- 3. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS.
- 4. ADJOINING STONES SHALL HAVE THE SAME (OR APPROX.) LENGTH.
- 5. MINIMUM LENGTH OF CURB STONES = 3

DEC. 14, 2021 \ **D-1**

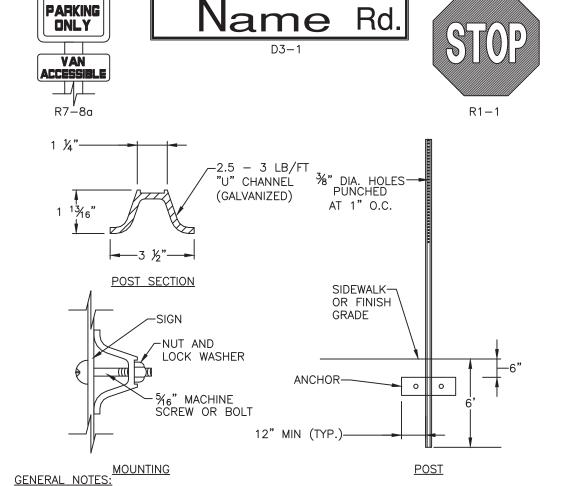
SCALE: NONE

- 7. REMOVE ALL UNSUITABLE MATERIAL TO THE SATISFACTION OF THE ENGINEER.
- 8. IN THE EVENT BEDROCK IS ENCOUNTERED, EXCAVATE BEDROCK TO A MINIMUM OF 6" BELOW THE
- 9. SUBGRADE MATERIAL SHALL BE SHAPED AND COMPACTED TO AN EVEN SURFACE. ALL SOFT AND

VERTICAL GRANITE CURB - ASPHALT SIDEWALK (NHDOT ITEM NO.)

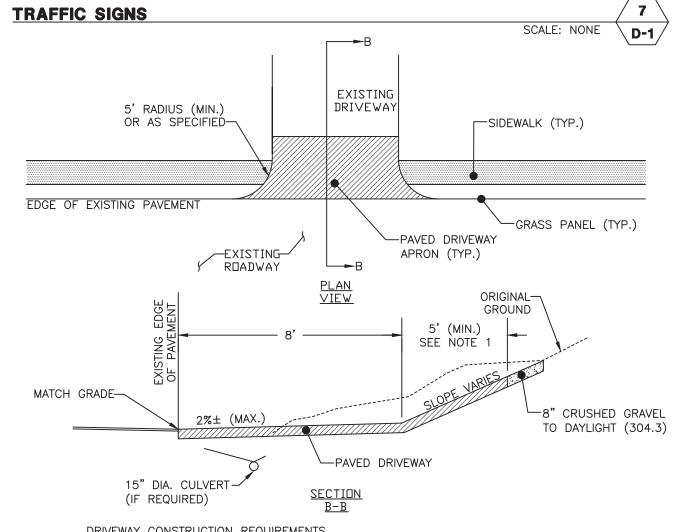


HARDWIRED LIGHTED BOLLARD FROM IDEALSHIELD (OR EQUAL). **FIXED BOLLARD & BASE** (NHDOT ITEM NO.)



1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632 AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."

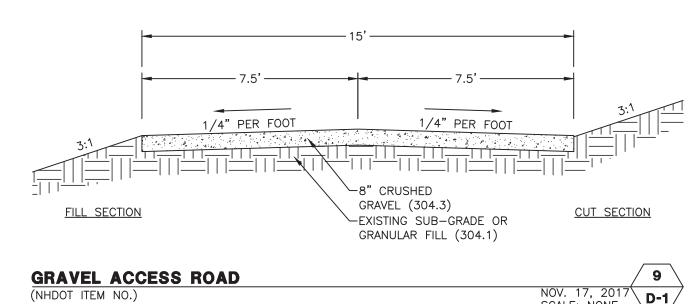
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.



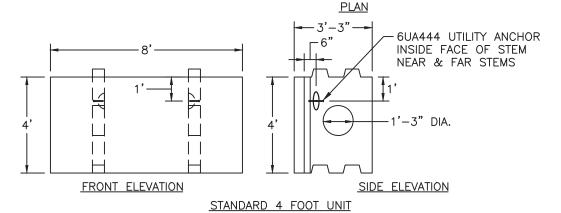
DRIVEWAY CONSTRUCTION REQUIREMENTS

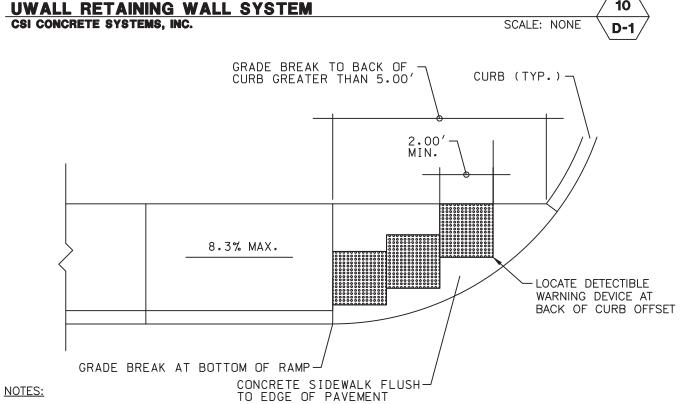
- 1. IN CASES WHERE EXISTING DRIVEWAY PAVEMENT EXTENDS BEYOND THE LIMITS INDICATED, PAVEMENT SHALL BE PROVIDED TO THE POINT OF DAYLIGHT.
- 2. WHERE REQUIRED, CULVERTS SHALL BE A MINIMUM OF TWELVE (12") INCHES IN DIAMETER AND SHALL BE CONSTRUCTED OF CORRUGATED METAL, REINFORCED CONCRETE, HIGH DENSITY POLYETHYLENE PIPE OR APPROVED EQUAL. THE DRIVEWAY SHALL HAVE A MINIMUM 3-FOOT SHOULDER ON EACH SIDE WHERE IT MEETS THE
- 3. HEADWALLS SHALL BE CONSTRUCTED OF STONE RUBBLE AND MORTAR, PRECAST





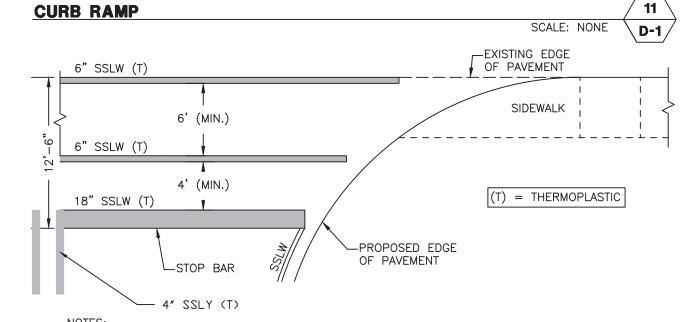
SCALE: NONE NOTES: 1. ONCE THE FINAL DESIGN IS COMPLETED IT SHALL BE APPROVED BY THE TOWN OF BROOKLINE DURING CONSTRUCTION. 6UA444 UTILITY ANCHOR -(TYP.) 2 PLACES





1. DETECTABLE WARNINGS SHALL BE PROVIDED WHEREVER A CURB RAMP CROSSES A VEHICULAR WAY.

- DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE, PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
- DETECTABLE WARNING MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT ON DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
- 4. DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEET GOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. DETECTABLE WARNINGS SHALL COMPLY WITH ICC/ANSI A117.1 SECTIONS 406.13 AND 705. TRUNCATED DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.
- SOME DETECTIBLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED. THE BORDER SHALL NOT EXCEED 2" IN WIDTH OR 6" ALONG THE ROADWAY EDGE/CURB. THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGE OF THE RADIUS
- DETECTABLE WARNING PANELS SHALL BE CAST IRON WITH NO SURFACE COATING AND SHALL BE ALLOWED TO TRANSITION TO THEIR NATURAL PATINA.



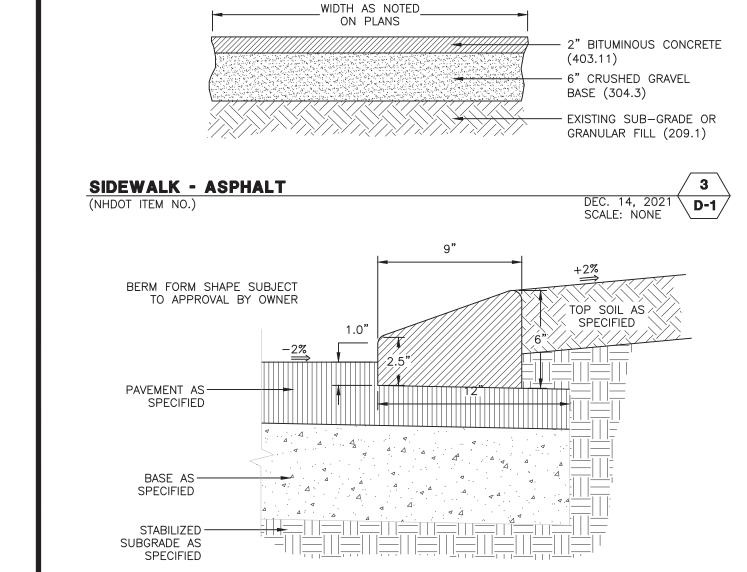
1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.

- 2. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
- 3. ALL STOP BARS, WORDS, AND CROSSWALKS SHALL BE THERMOPLASTIC

NHDOT STANDARD CROSSWALK (CONTROLLED INTERSECTION)

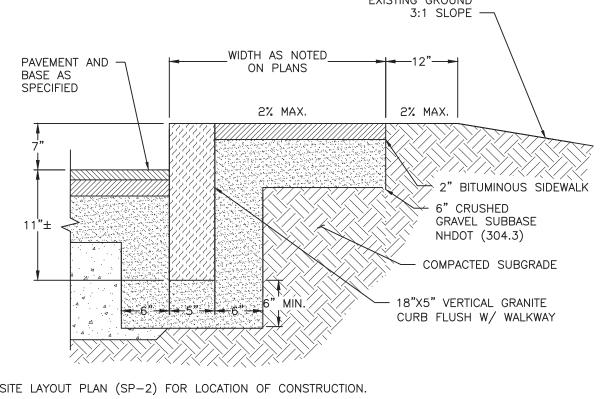
COMMUNITY, CONSTRUC VILLAGE BROOK, LL 23 MAIN STREET TAX MAP H PARCEL BR 3077V05E.dw FILE: PROJECT 03077.05 SHEET NO. 12 OF 16

AT



COMMON DRIVEWAY SECTION

CURB - CAPE COD BERM



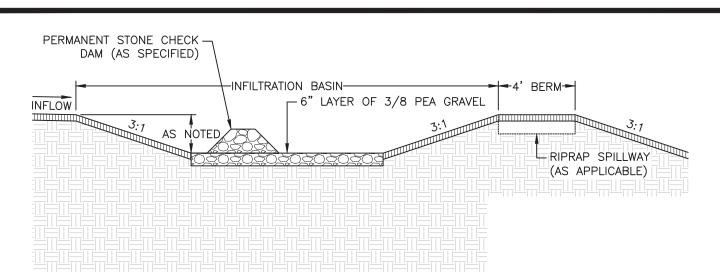
- 2. MAXIMUM ALLOWABLE SIDEWALK SLOPE IN ALL DIRECTIONS SHALL BE IN ACCORDANCE WITH AMERICAN
- 6. MAXIMUM LENGTH OF CURB STONES = 10'
- SUB-BASE MATERIAL AND REPLACE WITH BANKRUN GRAVEL.
- YIELDING MATERIAL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL.

10. RESTORATION OF THE ROADWAY IS DEPENDANT ON WHETHER DEMOLITION IS TO CROSS THE FOG LINE.

DEC 14. 2021 **D-1**/ SCALE: NONE

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SCALE: NONE

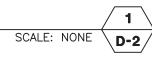


- 1. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF
- 2. DO NOT COMPACT THE EXCAVATION.
- 3. STORMWATER SHALL BE DIRECTED TO A PRETREAMENT BMP (IE. SEDIMENT FOREBAY) PRIOR TO INFILTRATION BASIN(S). DO NOT DISCHARGE RUNOFF DURING CONSTRUCTION FROM CONSTRUCTION ACTIVITIES TO INFILTRATION BASIN(S).
- 4. INFILTRATION BASIN(S) FLOORS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW FOLLOWED BY A PASS WITH A LEVELING DRAG.
- 5. VEGETATION SHALL BE ESTABLISHED IMMEDIATELY.
- 6. DO NOT PLACE INFILTRATION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.
- 7. INFILTRATION BASIN(S) SHALL BE MOWED AT LEAST TWICE ANNUALLY TO CONTROL THE GROWTH OF VEGETATION AND MAINTAIN ACCESS.
- 8. INFILTRATION BASIN(S) SHALL BE INSPECTED FOR DEBRIS/TRASH, SEDIMENT, EROSION, SETTLEMENT, SEEPAGE, WOODY VEGETATION OR ANY DEGRADING STABILITY CONDITION AT LEAST TWICE ANNUALLY AND/OR FOLLOWING AN RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD. ANY CONDITIONS PRESENT SHALL BE IMMEDIATELY CORRECTED.
- 9. INFILTRATION BASIN(S) SHALL BE INSPECTED PERIODICALLY AFTER A RAINFALL EVENT TO VERIFY THEY CAN DRAIN WITHIN 72 HOURS. UPON AN INSPECTION RESULTING IN OVER A 72 HOUR DRAIN TIME, A QUALIFIED PROFESSIONAL SHALL ASSESS THE INFILTRATION BASIN(S) AND PROVIDE MEASURES TO RESTORE THE INFILTRATION FUNCTION.
- 10. THE SUBJECT PARCEL IS LOCATED WITHIN A GROUNDWATER PROTECTION AREA. A 4-FOOT SEPARATION TO THE SHWT MUST BE MAINTAINED, OR IF A FILTERING BMP IS BEING USED, 24" OF FILTER MEDIA MUST BE USED.

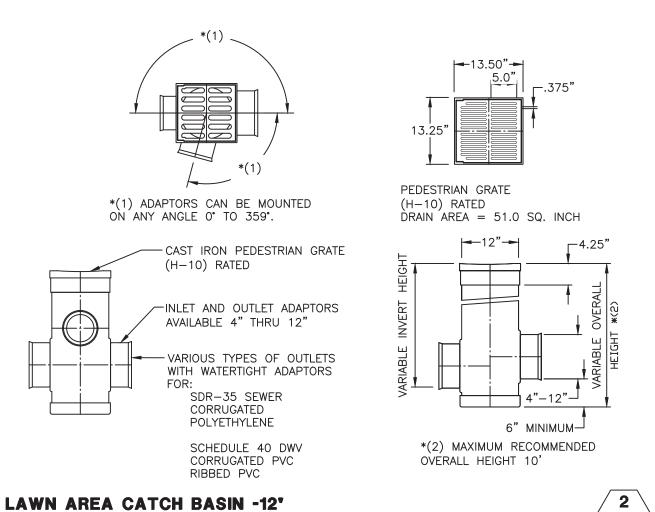
MAINTENANCE NOTES:

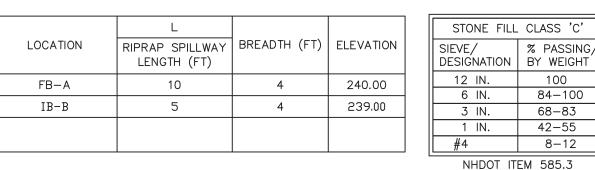
- 1. REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- 2. REMOVAL OF ACCUMULATED SEDIMENT.
- 3. INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- 4. INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- 5. INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- 6. PERIODIC MOWING OF EMBANKMENTS
- 7. REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- 8. INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- 9. IF AN INFILTRATION SYSTEM DOES NO DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH



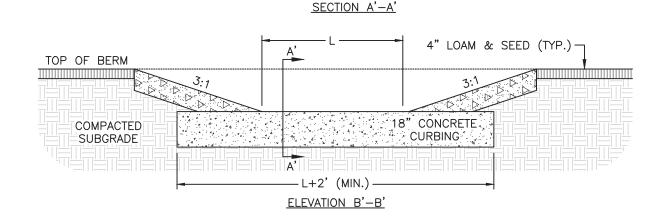


DEC. 14, 2021 **D-2**/ SCALE: NONE



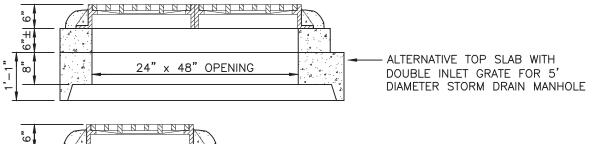


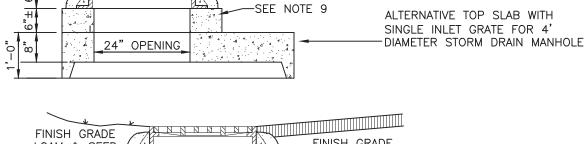
→4' BERM→ 1/2 DISTANCE FROM POND BOTTOM TO BERM __4" LOAM & SEED (TYP.) COMPACTED SUBGRADE 18" CONCRETE CURBING - EXISTING GROUND

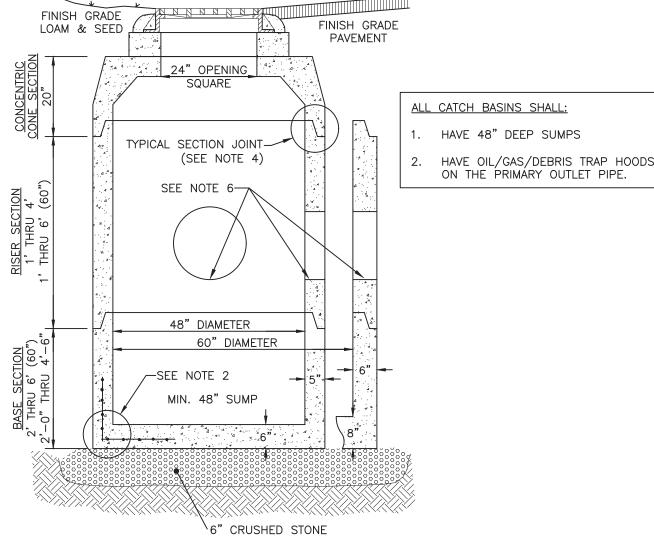


RIPRAP SPILLWAY







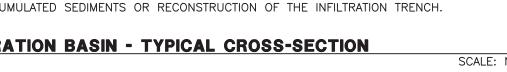


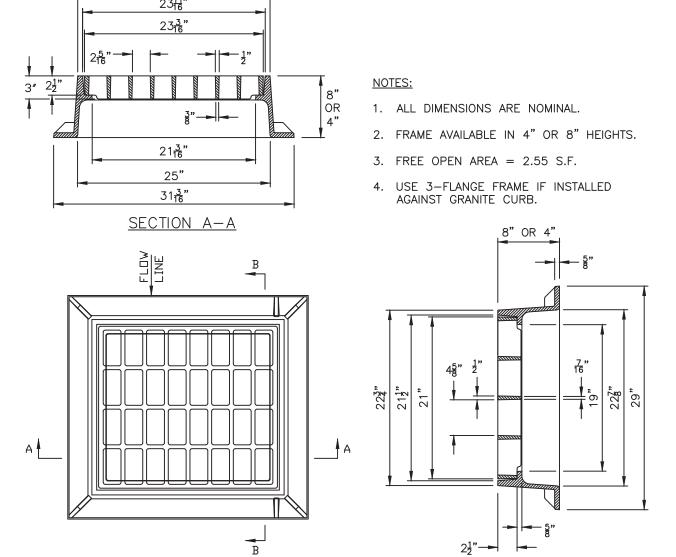
STORM DRAIN MANHOLE SHALL BE SUPPLIED BY CONCRETE SYSTEMS, INC., HUDSON, NH OR EQUAL. REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ.IN./LINEAR FT. AND 0.12 SQ.IN. (BOTH WAYS) BASE BOTTOM.

- CONCRÈTE COMPRESSIVE STRENGTH 4000 PSI MINIMUM. TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC.
- MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
- ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT. ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING.
- INLET GRATE AND FRAME IS TO BE NEENAH MODEL R-3405 FOR SINGLE GRATE AND MODEL R-3405-A FOR A DOUBLE GRATE STRUCTURE, OR EQUAL.
- INLET FRAME IS TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT. SEALED IN PLACE WITH NON SHRINK GROUT. 10. STORM DRAIN MANHOLE IS TO BE SET ON 6" OF 3/4" STONE BEDDING.
- 11. THE 48" DIAMETER STORM DRAIN MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS. THE 60" DIAMETER STORM DRAIN SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS. 12. ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.

STORMSEWER CATCH BASIN (CB)

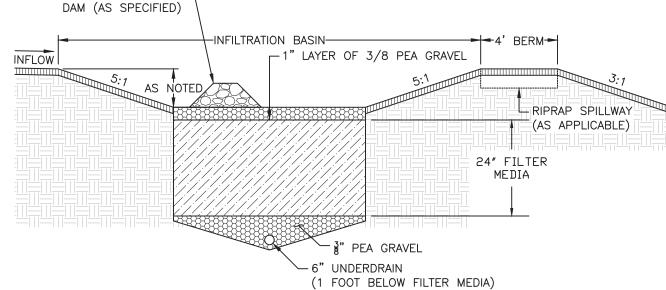








SECTION B-B



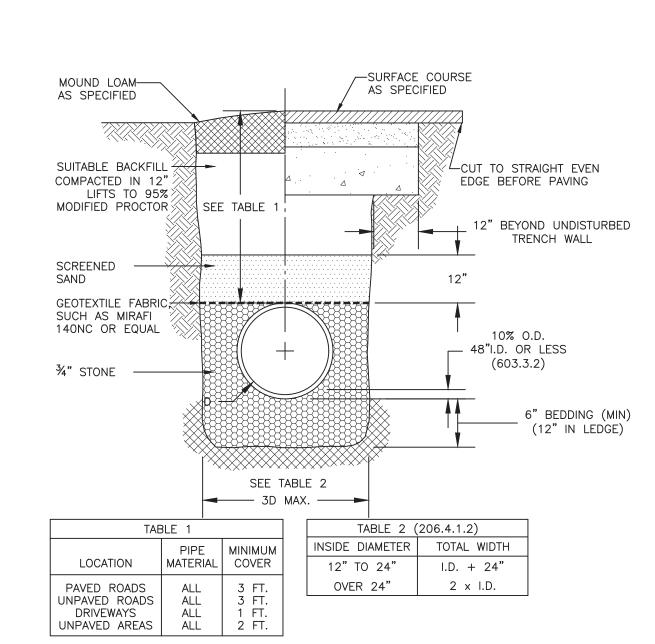
- 1. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF
- 2. DO NOT COMPACT THE EXCAVATION.
- 3. STORMWATER SHALL BE DIRECTED TO A PRETREAMENT BMP (IE. SEDIMENT FOREBAY) PRIOR TO FILTRATION BASIN(S). DO NOT DISCHARGE RUNOFF DURING CONSTRUCTION FROM CONSTRUCTION ACTIVITIES TO FILTRATION BASIN(S).
- 4. FILTRATION BASIN(S) FLOORS SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW FOLLOWED BY A PASS WITH A LEVELING DRAG.
- VEGETATION SHALL BE ESTABLISHED IMMEDIATELY.
- 6. DO NOT PLACE FILTRATION BASIN(S) INTO SERVICE UNTIL THE CONTRIBUTING AREA HAS BEEN COMPLETELY STABILIZED.
- 7. FILTRATION BASIN(S) SHALL BE MOWED AT LEAST TWICE ANNUALLY TO CONTROL THE GROWTH OF VEGETATION AND MAINTAIN ACCESS.
- 8. PRIOR TO ROUGH GRADING THE FILTRATION AREAS, THE DEVELOPER OR THEIR CONTRACTOR SHALL COORDINATE WITH THE DESIGN ENGINEER TO VERIFY THE DEPTH TO THE WATER TABLE ONCE THE LARGE CUT HAS BEEN MADE IN THAT AREA OF THE SITE.
- 9. BASIN BOTTOM TO BE TESTED IN ACCORDANCE WITH ENV-WQ 1504.14(e) TO VERIFY THE INFILTRATION RATE OF THE NATIVE SOILS.
- 10. 24" FILTER MEDIA IS REQUIRED TO BE USED IF THE TESTED INFILTRATION RATE EXCEEDS 10 INCHES
- 10.1. THE 24" FILTER MEDIA MIXTURE SHALL BE IN ACCORDANCE WITH ENV-WQ 1508.07(K)(4)(A): 50% to 55% by volume sand that is certified by its producer as meeting the requirements for ASTM C-33 concrete sand, 20% to 30% by volume of loamy sand topsoil with 15% to 25% fines passing the number 200 sieve, and 20% to 30% by volume moderately fine shredded bark or wood fiber mulch with less than 5% passing the number 200 sieve;
- 11. THE SUBJECT PARCEL IS LOCATED WITHIN A GROUNDWATER PROTECTION AREA. A 4-FOOT SEPARATION TO THE SHWT MUST BE MAINTAINED, OR IF A FILTERING BMP IS BEING USED, 24" OF FILTER MEDIA MUST BE USED WITH AN UNDERDRAIN 1-FOOT BELOW THE FILTER MEDIA.

MAINTENANCE NOTES:

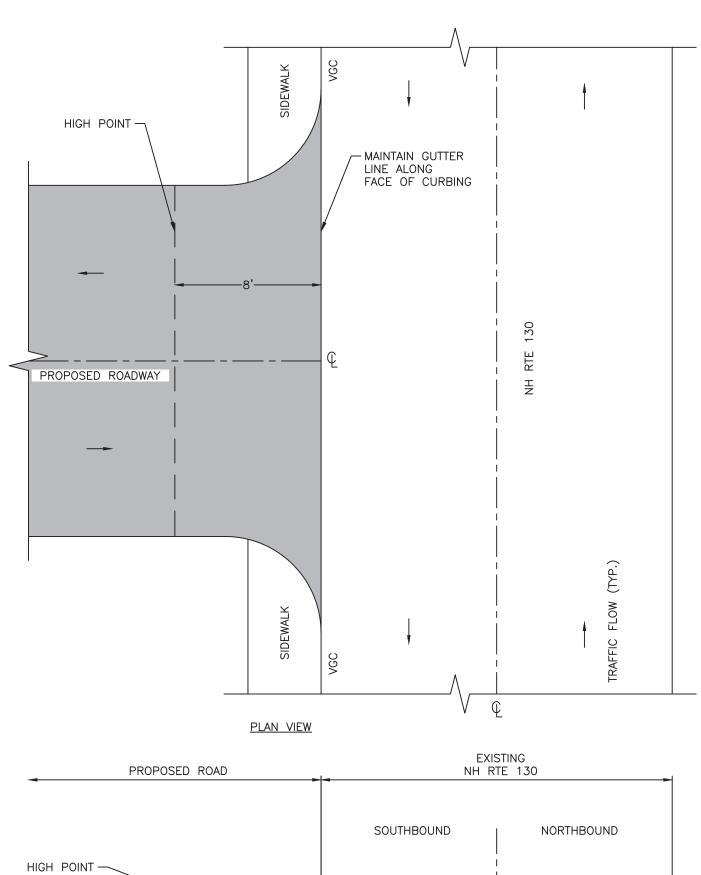
- 1. REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
- REMOVAL OF ACCUMULATED SEDIMENT.
- 3. INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
- 4. INSPECTION OF FILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- INSPECTION OF PRETREATMENT MEASURES AT LEAST TWICE ANNUALLY, AND REMOVAL OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- 6. PERIODIC MOWING OF EMBANKMENTS.
- 7. REMOVAL OF WOODY VEGETATION FROM EMBANKMENTS.
- 8. INSPECTION AND REPAIR OF EMBANKMENTS AND SPILLWAYS.
- 9. IF AN INFILTRATION SYSTEM DOES NO DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION TRENCH.

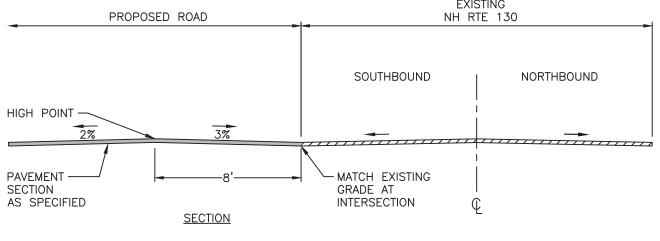
FILTRATION BASIN - TYPICAL CROSS-SECTION











ROADWAY GUTTER LINE JUN. 7, 2022 SCALE: NONE **D-2** (NHDOT ITEM NO.)

VILLAGE BROOK, LLC 23 MAIN STREET TAX MAP H PARCEL 4 OOKLINE, NEW HAMPS 3077V05E.dw FILE: PROJECT 03077.05 SHEET NO. 13 OF 16

2. THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.

3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".

4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.

5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.

6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT

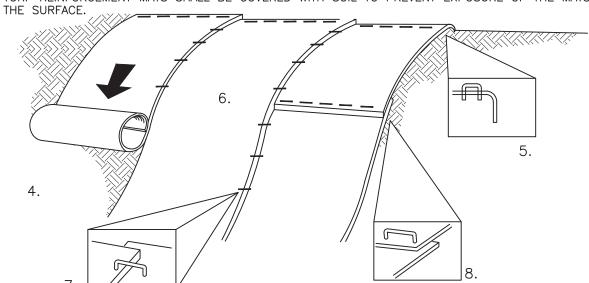
7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.

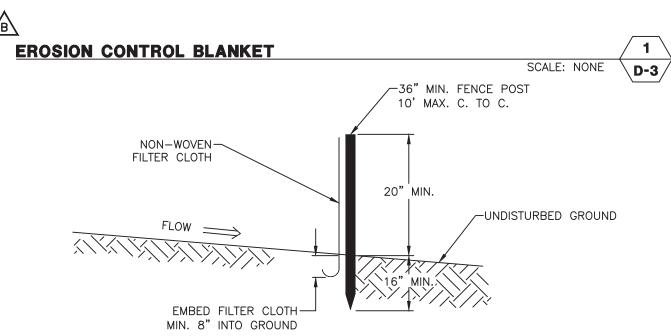
8. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.

9. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.

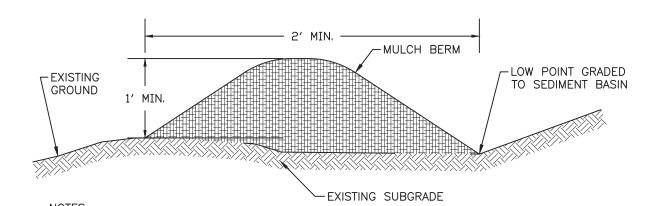
10. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO









. EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER.

2. THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65% ON A DRY WEIGHT BASIS THAT IS:

2.1. FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.

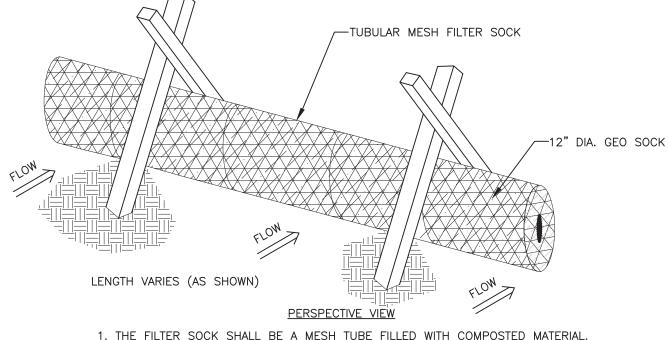
2.2. NOT COMPROMISED OF WOOD CHIPS, BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS.

3. THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR SANDS.

4. HAVE A PARTICLE SIZE BY WEIGHT OF 100% PASSING A 3-INCH SCREE, 90% TO 100% PASSING A 1-INCH SCREEN, 70% TO 100% PASSING A 0.75-INCH SCREEN, AND 30% TO 75% PASSING A 0.25-INCH SCREEN

5. HAVE A PH BETWEEN 5.0 AND 8.0

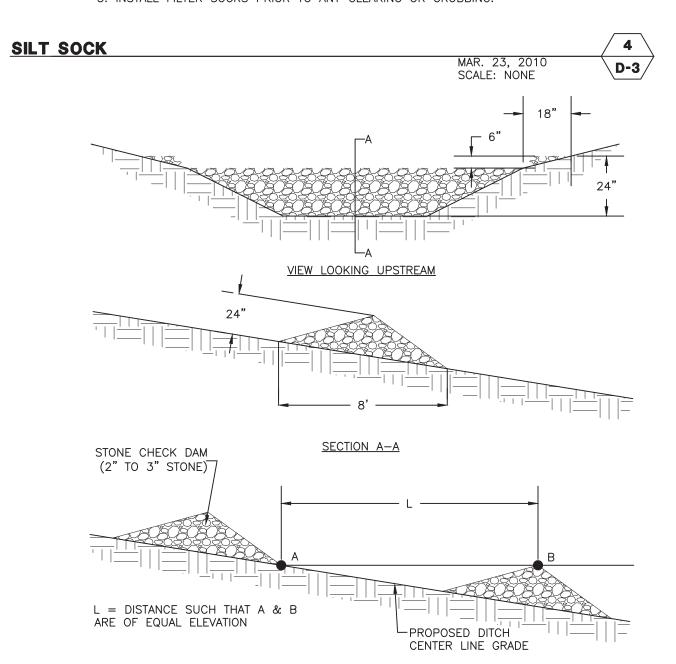
6. REFER TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3 SECTION 4.2 FOR COMPLETE DETAILS.



1. THE FILTER SOCK SHALL BE A MESH TUBE FILLED WITH COMPOSTED MATERIAL.

2. MINIMAL CLEARING MAY BE REQUIRED TO INSTALL FILTER SOCKS.

3. INSTALL FILTER SOCKS PRIOR TO ANY CLEARING OR GRUBBING.



STONE CHECK DAM **∖ D-3** ⁄ SCALE: NONE

1. TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL

STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME. ALL ESSENTIAL GRADING SUCH AS DIVERSIONS. DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT

CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.

GULLYING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.

4. PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH

A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE

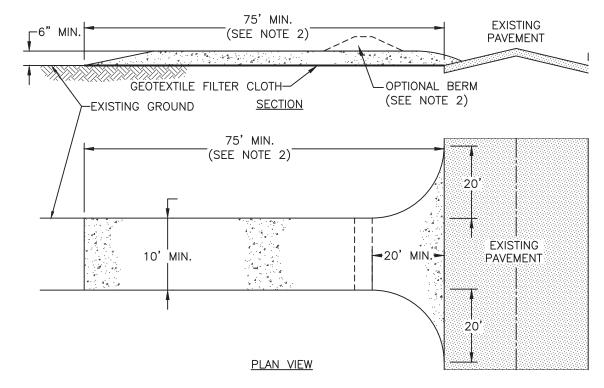
THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.

7. HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE

8. PLANT SELECTION AND APPLICATION RATES:

CONDITIONS.

SPECIES	RATE 1 (LBS/AC.)	RATE 2 (LBS/1,000 S.F.)	REMARKS
WINTER RYE	112	2.5	FALL, 8/15 TO 9/15
			PLANT 1.0 INCH DEEP
OATS	80	2.0	SPRING PRIOR TO 5/15 PLANT 1.0 INCH DEEP
ANNUAL RYEGRASS	40	1.0	QUICK, SHORT DURATION GOOD APPEARANCE EARLY SPRING & FALL PLANT 0.25 INCH DEEP
PERENNIAL RYEGRASS	30	0.7	LASTS LONGER THAN ANNUAL LATE SPRING & FALL MULCHING WILL ALLOW USE ALL SEASO PLANT 0.5 INCH DEEP



1. STONE FOR STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH CRUSHED STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.

THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE EXIT OF THE

3. THE THICKNESS OF THE STONE SHALL NOT BE LESS THAN 6 INCHES.

4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE EXISTING POINT OF INGRESS/EGRESS OR 10 FEET, WHICH EVER IS GREATER.

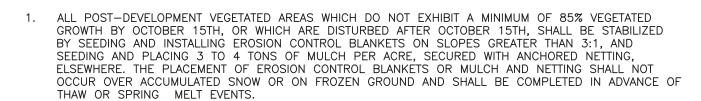
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.

ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.

THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO EXIT ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

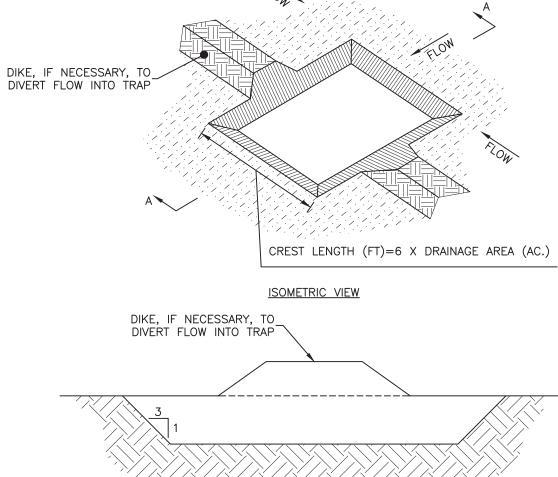
STABILIZED CONSTRUCTION EXIT SCALE: NONE \D-3/



2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM

WINTER CONSTRUCTION SCALE: NONE **D-3**



SEDIMENT TRAPS SHOULD BE LOCATED SO THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA

SECTION A-A

THE TRAP SHOULD BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.

THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHOULD BE LESS THAN 5 ACRES.

THE MINIMUM VOLUME OF THE TRAP SHOULD BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.

THE SIDE SLOPES OF THE TRAP SHOULD BE 3:1 OR FLATTER, AND SHOULD BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.

THE MINIMUM LENGTH-TO-WIDTH RATIO OF THE TRAP SHOULD BE 2:1 (L:W).

FOR CONCENTRATED FLOW ENTERING THE TRAP, ENERGY DISSIPATION AT THE POINT OF INFLOW SHOULD BE PROVIDED.

THE OUTLET PIPE SHOULD EXTEND THROUGH THE EMBANKMENT AT A MINIMU SLOPE OF 0.5 PERCENT.

REFER TO THE <u>NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3: CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS</u>, DECEMBER 2008 FOR COMPLETE INFORMATION.

1. BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.

TRAP SHOULD BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS FOR STORMWATER CONTROL.

EMBANKMENT MATERIAL SHOULD CONSIST OF DEBRIS FREE SOIL, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT PASSING THE NO.

4. EMBANKMENT SHALL BE COMPACTED TO AT MINIMUM 95 PERCENT OF MAXIMUM DENSITY IN

ACCORDANCE WITH ASTM D698 5. PIPE SCH 40 OR GREATER SHOULD BE USED.

MAINTENANCE NOTES:

INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATION CONDITION. MAINTENANCE SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs WITHIN 24 HOURS OF A STORM CAUSING SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

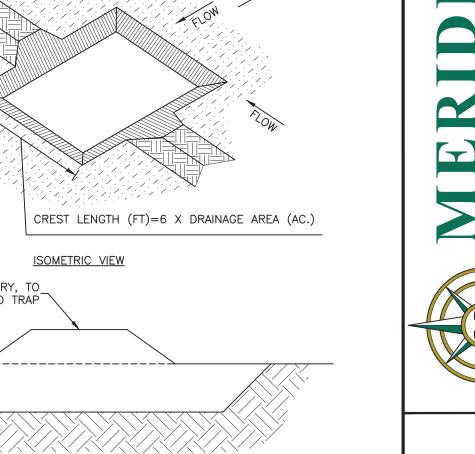
3. REPAIR OR REPLACE BMPs UPON FAILURE.

4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

5. THE TRAP IS TO REMAIN IN PLACE UNTIL THE DISTURBED AREA HAS BEEN STABILIZED AND GRASS COVER IS ACCEPTED BY LOCAL JURISDICTION.

EARTH OUTLET SEDIMENT TRAP

OCTOBER 22, 2018 \ D-3 SCALE: NONE



		1	-		TRY	TRY	TRY	TRY	CK
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					TOWN/STATE REVIEW COMMENTS	TOWN REVIEW COMMENTS	STATE REVIEW COMOMENTS	TOWN PB SUBMISSION	DESCRIPTION
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AT VILLAGE BROOK SEDIMENTATION SOL DETAILS COMMUNITY A EROSION & S CONTRO

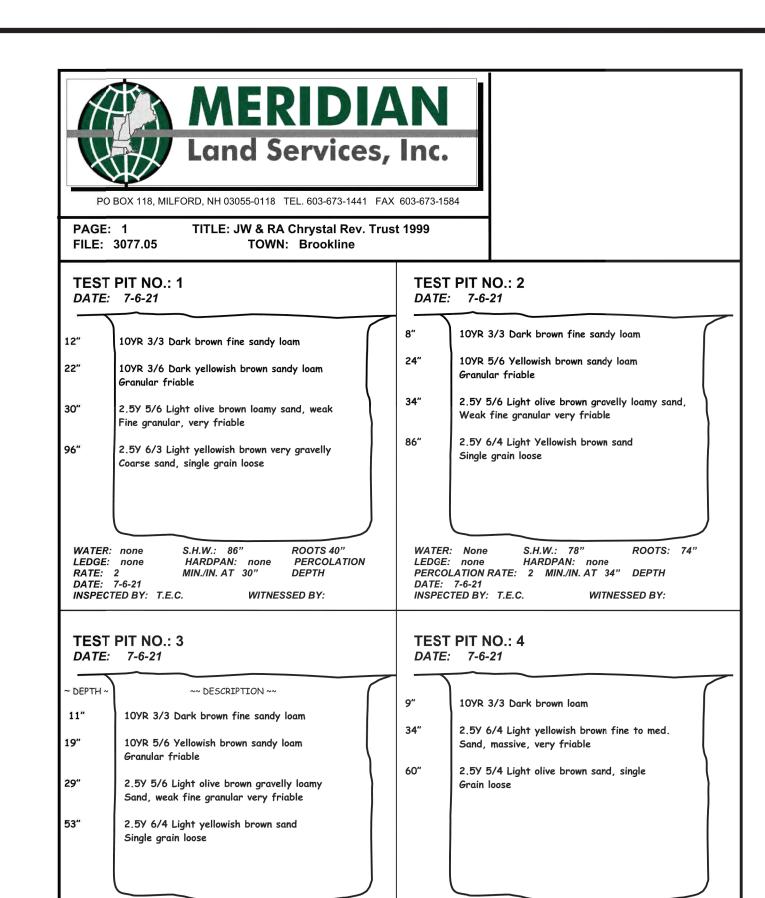
VILLAGE BROOK, LLC 23 MAIN STREET TAX MAP H PARCEL 4 OOKLINE, NEW HAMPS BR

3077V05D.dv

PROJECT 03077.05 SHEET NO. 14 OF 16







WATER: none S.H.W.: 48"

PERCOLATION RATE: 4 MIN./IN. AT 28" DEPTH

LEDGE: none HARDPAN: none

DATE: 7-6-21 INSPECTED BY: T.E.C.

ROOTS: 40"

WITNESSED BY:

WATER: none S.H.W.: 48" LEDGE: none HARDPAN: none

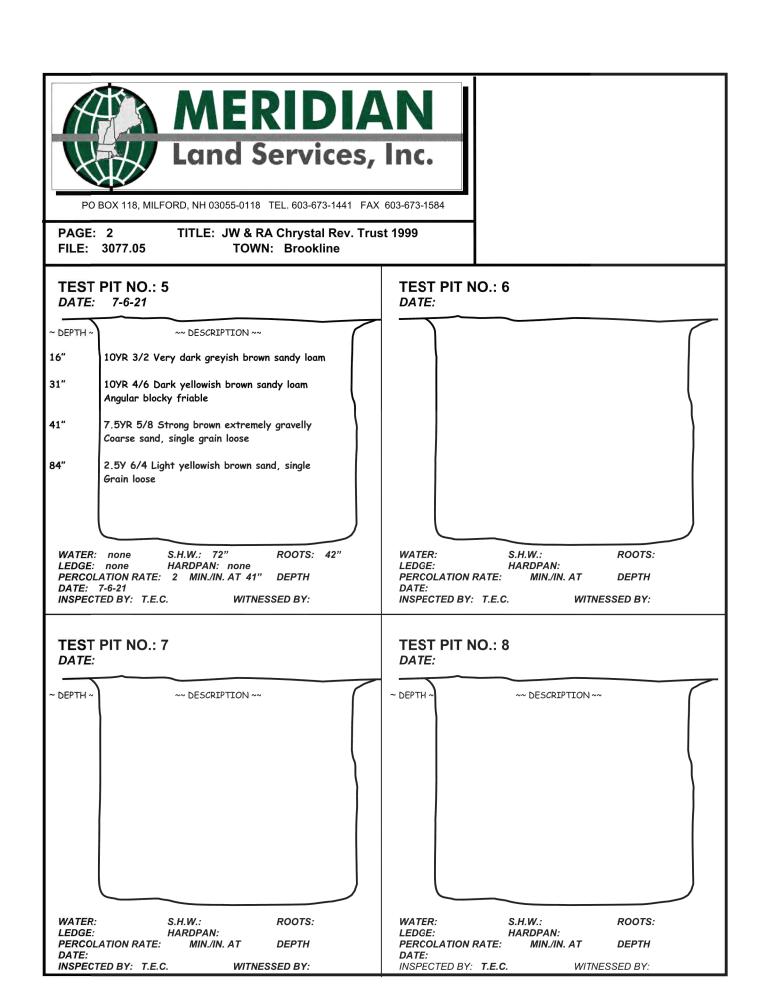
DATE: 7-6-21 INSPECTED BY: T.E.C.

HARDPAN: none

PERCOLATION RATE: 2 MIN./IN. AT 32" DEPTH

ROOTS: 40"

WITNESSED BY:





PO BOX 118, MILFORD, NH 03055-0118 TEL. 603-673-1441 FAX 603-673-1584

TITLE: JW & RA Chrystal Rev. Tr. 8-5-21 FILE: 3077.05 TOWN: Brookline

Loamy sand

WATER: 40' S.H.W.: 38'

INSPECTED BY: T.E.C.

PERCOLATION RATE: MIN./IN. AT

30"-42' 2.5Y 6/4 Light yellowish brown

gravelly sand, single grain loose

WITNESSED BY:

BORII DATE:	NG NO.: 1 6-25-21		NG NO.: 2 : 6-25-21
9"	10YR 3/3 Dark brown fine sandy loam	9"	10YR 3/3 Dark brown fine sandy loam
9-22"	10YR 5/6 Yellowish brown sandy loam	9-20"	10YR 5/6 Yellowish brown sandy loam
22-30"	2.5Y 6/4 Light yellowish brown loamy Sand	20-38"	2.5Y 6/4 Light yellowish brown loamy Sand
30"-37'	2.5Y 6/4 Light yellowish brown gravelly Sand, single grain loose	38"-42'	2.5Y 6/4 Light yellowish brown gravelly Sand, single grain loose
WATER: LEDGE: RATE: DATE: INSPECT		DATE:	
	NG NO.: 3 6-25-21	TEST DATE:	PIT NO.: 4
~ DEPTH ~	10YR 3/3 Dark brown fine sandy loam	~ DEPTH ~	~~ DESCRIPTION ~~
9-22"	10YR 5/6 Yellowish brown sandy Loam		
22-30"	2.5Y 6/4 Light yellowish brown		

WATER:

DATE: INSPECTED BY: T.E.C.

LEDGE:

S.H.W.:

PERCOLATION RATE: MIN./IN. AT

HARDPAN:

ROOTS:

DEPTH

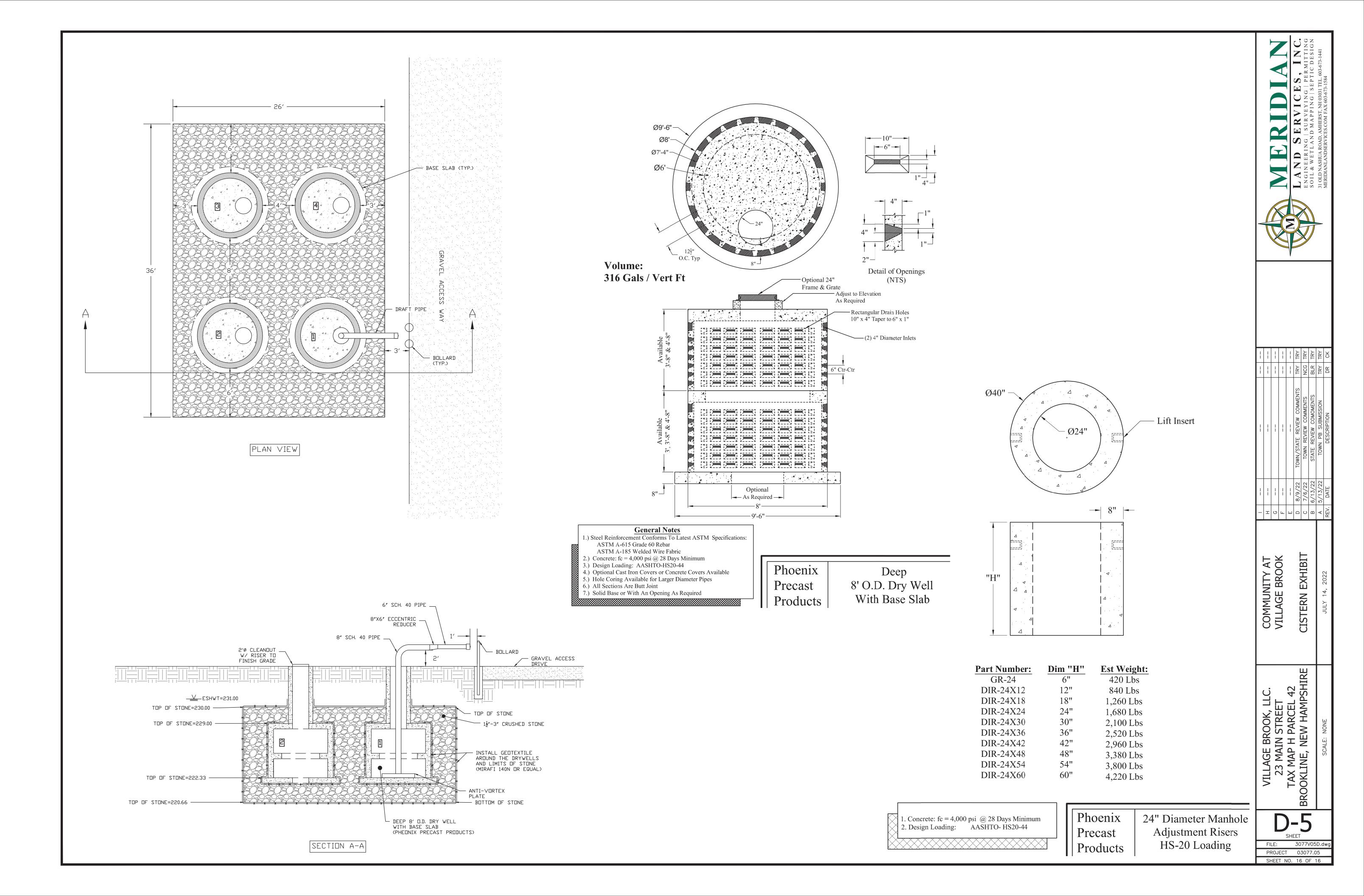
WITNESSED BY:

ERIN ERIN



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1					TOWN/STATE REVIEW COMMENTS	TOWN REVIEW COMMENTS	STATE REVIEW COMOMENTS	TOWN PB SUBMISSION	DESCRIPTION
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			COININIONII AI VILLAGE VACON	SUBSURFACE TEST PIT AND		GEOTECHNICAL BORING LOGS		7 / 7 / 7 / 7 / 7 / 7 / 7 / 7 / 7 / 7 /	FEBRUARY 10, 2022

SHEET NO. 15 OF 16



Plotted: 8/10/2022 9:55 AM By: TRY H:\MLS\03077\3077.05\0_Drawings\ENG\3077V05D.dwg