

LOCUS MAP
NOT TO SCALE

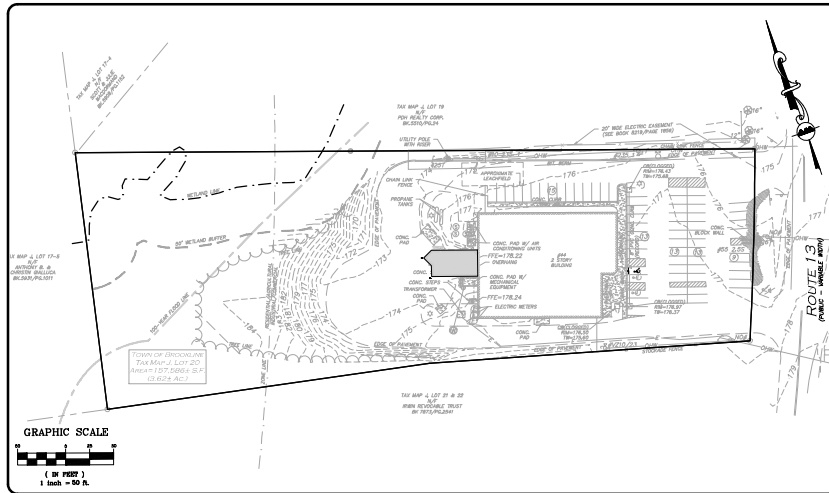
OWNER:
JBC REALTY TRUST LLC
18 BAYSHORE DRIVE
MEREIDITH, NH 03253

CIVIL ENGINEER / SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
PHONE: 603.627.5500

ARCHITECT:
STONE RIVER ARCHITECTS
124 BEDFORD CENTER ROAD UNIT E
BEDFORD, NH 03110

SITE DEVELOPMENT PLANS FOR STATE LINE CONVENIENCE BUILDING ADDITION

44 ROUTE 13
BROOKLINE, NH 03033



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101	09-14-20	-
OVERALL SITE PLAN	C-100	09-14-20	-
SITE PREPARATION PLAN	C-101	09-14-20	-
LAYOUT, GRADING, & UTILITIES PLAN	C-102	09-14-20	-
WB-67 TRUCK TURNING PLAN	C-103	09-14-20	-
FIRE TRUCK TURNING PLAN	C-104	09-14-20	-
DETAILS	C-501	09-14-20	-
INDIVIDUAL SUBSURFACE DISPOSAL SYSTEM	ISDS-1	09-14-20	-

APPROVED BROOKLINE PLANNING BOARD	
CERTIFIED BY: ON _____	DATE _____
_____	DATE _____

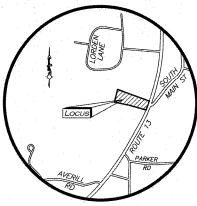
PERMITS/APPROVALS	
PERMIT TYPE	PERMIT NUMBER
SHOOT DEWEYWAY PERMIT	063-03-01
SHDES SEPTIC	CA2003052032



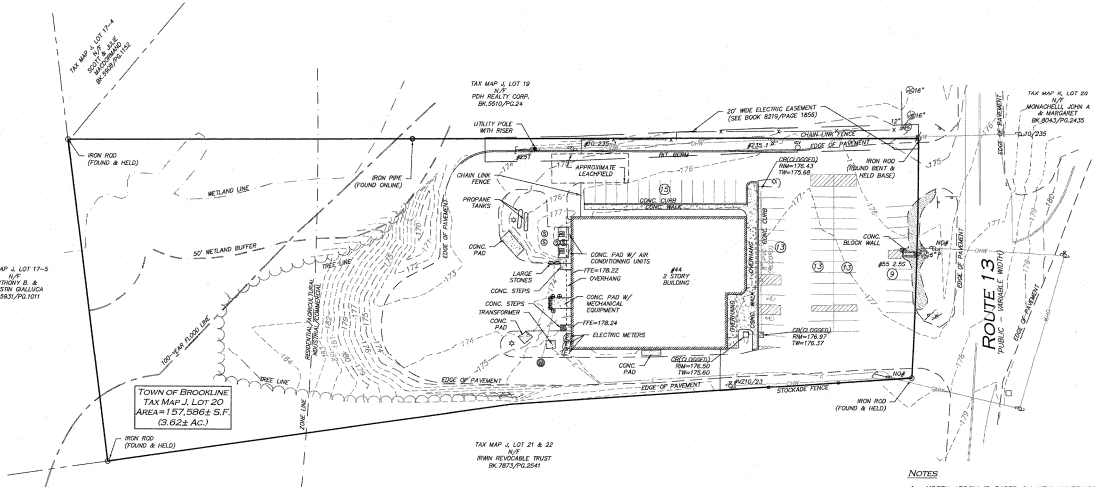
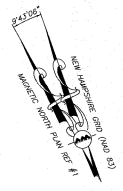
PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.

environmental consulting • landscape architecture
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5500

ISSUED FOR SITE PLAN REVIEW: SEPTEMBER 14, 2020



LEGEND	
IRON PIPE (IP)	○
IRON ROD (IR)	⊙
SEWER MANHOLE (SMH)	⊕
GAZEBO DASH (GD)	□
UTILITY POLE	⊕
UTILITY POLE W/LIGHT	⊕
UTILITY POLE RISER	⊕
GUY WIRE	—
LIGHT	⊕
WELL	⊕
HANDICAPPED PARKING SPACE	⊕
IRRIGATION CONTROL VALVE	⊕
BOLLARD	⊕
SIGN	—
PARKING SPACE COUNT	⊕
CONCRETE	—
LANDSCAPED AREA (LSA)	—
1" CONTOUR	—
5' CONTOUR	—
PROPERTY LINE	—
ABUTTERS LINE	—
TREE LINE	—
EDGE OF PAVEMENT	—
CURB	—
CHAIN LINK FENCE	—
STOCKADE FENCE	—
WATER LINE	—
SEWER LINE	—
OVERHEAD WIRES	—
ELECTRICAL LINE	—
FINISHED FLOOR ELEVATION	FFE
NOW OR FORMERLY	N/F
BOOK	BK
PAGE	PG
WETLAND LINE	—
WETLAND BUFFER LINE	—
100-YEAR FLOOD LINE	—



LOCUS REFERENCES
 -TOWN OF BROOKLINE TAX MAP J, LOT 20
 -H.C.R.D. BOOK 7998, PAGE 1879

- PLAN REFERENCES**
- PLAN ENTITLED, "SITE PLAN TAX MAP PARCEL J-20 PREPARED FOR NORTHCAST REAL DEV., INC. BROOKLINE, NEW HAMPSHIRE," SCALE 1"=40', DATED JULY 24, 2002, PREPARED BY MERRILL LAND SERVICES, INC.
 - PLAN ENTITLED, "LOT LINE RELOCATION PLAN - LOT 17-16, 17, 18, 23 J MAP J, 'ELEVATIONS' ROUTE 13 BROOKLINE, NEW HAMPSHIRE, PREPARED FOR LORDEAN REALTY," SCALE 1"=100', DATED MAY 20, 1992, PREPARED BY MAYNARD & PAQUETTE, INC. AND ON FILE AT THE H.C.R.D. AS PLAN NO. 22908.
 - PLAN ENTITLED, "SUBDIVISION PLAN - LOT 17J, MAP J, 'ELEVATIONS' ROUTE 13 BROOKLINE, NEW HAMPSHIRE, PREPARED FOR LORDEAN GROUP, INC., SCALE 1"=100', DATED APRIL 8, 1981, PREPARED BY MAYNARD & PAQUETTE, INC. AND ON FILE AT THE H.C.R.D. AS PLAN NO. 25187.
 - PLAN ENTITLED, "TRAILS OF PROPOSED FEDERAL AND SECONDARY PROJECT NO. SN-FAS-517(1) BARBOOSE ROAD," SCALE 1"=50', ON FILE WITH THE STATE OF NEW HAMPSHIRE, HIGHWAY DEPARTMENT.

- NOTES**
- NORTH ARROW IS BASED ON NEW HAMPSHIRE GRID COORDINATE SYSTEM (NAD 83).
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM HILLSBOROUGH COUNTY REGISTER OF DEEDS IN CONCORD, NH.
 - VERTICAL DATUM IS NAVD 83.
 - CONTOUR INTERVAL IS ONE FOOT (1').
 - SEPTIC INFORMATION TAKEN FROM PLAN REFERENCE #1.
 - WETLAND LINE AND BUFFER TAKEN FROM PLAN REFERENCE #1.
 - AREA IS BASED ON PLAN REFERENCE #1.
 - A PORTION OF THE SUBJECT PREMISES IS LOCATED IN ZONE A "A" AS SUBJECT TO INVADATION BY THE 1-PERCENT ANNUAL CHANCE FLOOD EVENT AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF BROOKLINE, NEW HAMPSHIRE HILLSBOROUGH COUNTY COMMUNITY PANEL NUMBER 3301100502, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2004.
 - ORIGINAL LOCUS DEED CONFLICTS WITH DIMENSIONS ON PLAN REFERENCE #1. MORE FIELD INVESTIGATION IS NEEDED TO CONFIRM THE DIMENSIONS.

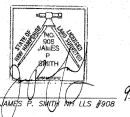


UTILITY STATEMENT
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN REPRESENT COMPLETE AND ACCURATE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PARKING SUMMARY	
STANDARD STALLS	61
HANDICAPPED STALLS	2
TOTAL STALLS	63

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN SEPTEMBER 1, 2020 AND SEPTEMBER 3, 2020 AND HAS AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.



APPLICANT/OWNER:
JBC REALTY TRUST LLC
 18 BAYSHORE DRIVE
 MERIDITH, NH 03253

PROJECT:
STATE LINE CONVENIENCE BUILDING ADDITION
 44 ROUTE 13
 BROOKLINE, NH 03033

PROJECT NO. 182011 DATE: 9/14/20
 SCALE: 1"=40' DWG. NAME: S1820-11-SC
 DRAFTED BY: AJR CHECKED BY: JPS

ALLEN & MAJOR ASSOCIATES, INC.
 CIVIL ENGINEERING • LAND SURVEYING
 ENVIRONMENTAL CONSULTING • LANDSCAPE ARCHITECTURE
 401 HANOVER ROAD
 MANCHESTER, NH 03103
 TEL: (603) 627-5500
 FAX: (603) 627-5501

WORKSHEET NO. 1
 SHEET NO. V-101
 EXISTING CONDITIONS

OFF-STREET PARKING SUMMARY

TOTAL SALES	MINIMUM NUMBER OF SPACES CALCULATION	MIN REQUIRED	MAX ALLOWED	TOTAL EXISTING
	1 SPACE PER 300 SQUARE FEET OF SALES AREA 15,836 / 300 = 53			
14,460 S.F. (EXISTING) 12,776 S.F. (PROPOSED)	MAXIMUM NUMBER OF SPACES CALCULATION	53	63	63
1 SPACE PER 250 SQUARE FEET OF SALES AREA 15,836 / 250 = 63				

NOTE: EXISTING AREA FROM BROOKLINE ASSESSOR'S DATABASE

ADA PARKING REQUIREMENT
51-75 SPACES: 3 ADA SPACES REQUIRED
3 ADA SPACES PROVIDED

**TOWN OF BROOKLINE
INDUSTRIAL - COMMERCIAL ZONING DISTRICT**

ITEM	REQUIRED	PROPOSED
FRONTAGE (MINIMUM)	150 FEET	200 FEET
FRONT SETBACK (MINIMUM)	30 FEET	140.8 FEET
SIDE SETBACK (MINIMUM)	15 FEET	34.7 FEET
REAR SETBACK (MINIMUM)	15 FEET	346.7 FEET
LAND AREA (MINIMUM)	1 ACRE	3.6 ACRES
SITE COVERAGE (MAXIMUM)	75%	45.9%
BUILDING HEIGHT (MAXIMUM)	35 FEET	31 FEET 1"

NOTE:
1. BUILDING HEIGHT PER PLAN BY MERIDIAN LAND SERVICES DATED JULY 24, 2002.

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
BUILDING ADDITION	▭
BUILDING INTERIOR WALLS	▭
SAW-CUT LINE	---
SIGN	+
ADA PARKING SYMBOL	⊕

GENERAL NOTES:

- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF NEW HAMPSHIRE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE TOWN, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING LOCAL, STATE, FEDERAL, AND ASHRAE.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK BEFORE THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELEVANT CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE AND LOCAL REGULATIONS.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE SITE IS LOCATED WITHIN THE ADJUTER PROTECTION DISTRICT. THE PROJECT PROPOSES NO CHANGE IN IMPROVED SURFACES, NO EXTERIOR STORAGE OF REGULATED SUBSTANCES CURRENTLY LISTED ON SITE. ANY FUTURE STORAGE OF REGULATED SUBSTANCES CURRENTLY LISTED ON SITE WILL BE COORDINATED WITH THE JANITORIAL SERVICES UTILITIES APPROPRIATE BEST MANAGEMENT PRACTICES, AND WILL REQUIRE A PERMIT BY THE TOWN.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTEREST HEREIN IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

PROJECT:
JBC REALTY TRUST LLC
18 BAYSHORE DRIVE
MERIDETH, NH 03253

PROJECT:
STATE LINE CONVENIENCE
BUILDING ADDITION
44 ROUTE 13
BROOKLINE, NH 03033

PROJECT NO. 182041 DATE: 08-14-20
SCALE: 1"=40' DATE PLOTTED: 08/14/20
DRAWN BY: MJC CHECKED BY: MJC



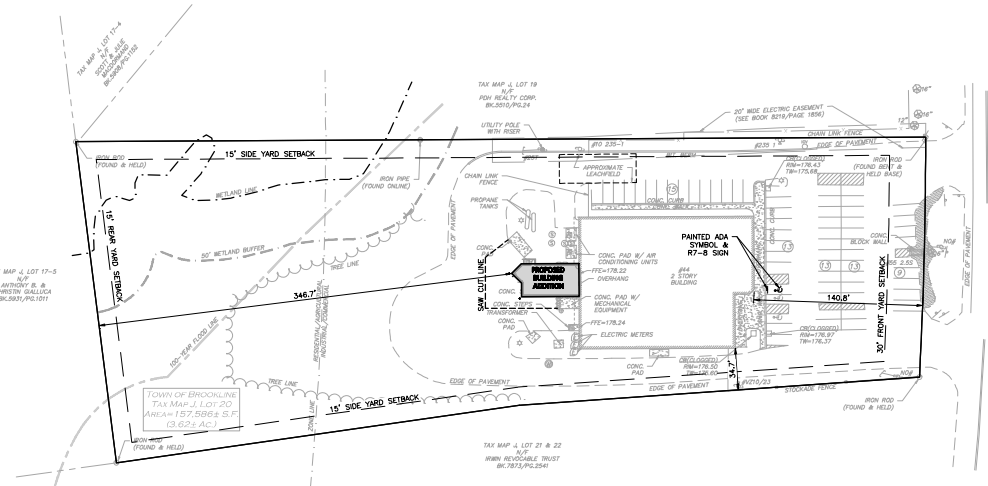
ALLEN & MAJOR ASSOCIATES, INC.
11111 INDUSTRIAL BLVD SUITE 200
ENVIRONMENTAL CONSULTING • LANDSCAPE ARCHITECTURE
P.O. BOX 11111
MANCHESTER, NH 03104
TEL: 603-425-5500
FAX: 603-425-5501

WORKSHEET NO. 182041-1 MANCHESTER, NH

THIS DRAWING AND ANY INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

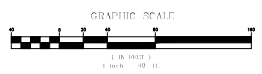
DRAWING TITLE: OVERALL SITE PLAN SHEET NO. C-100

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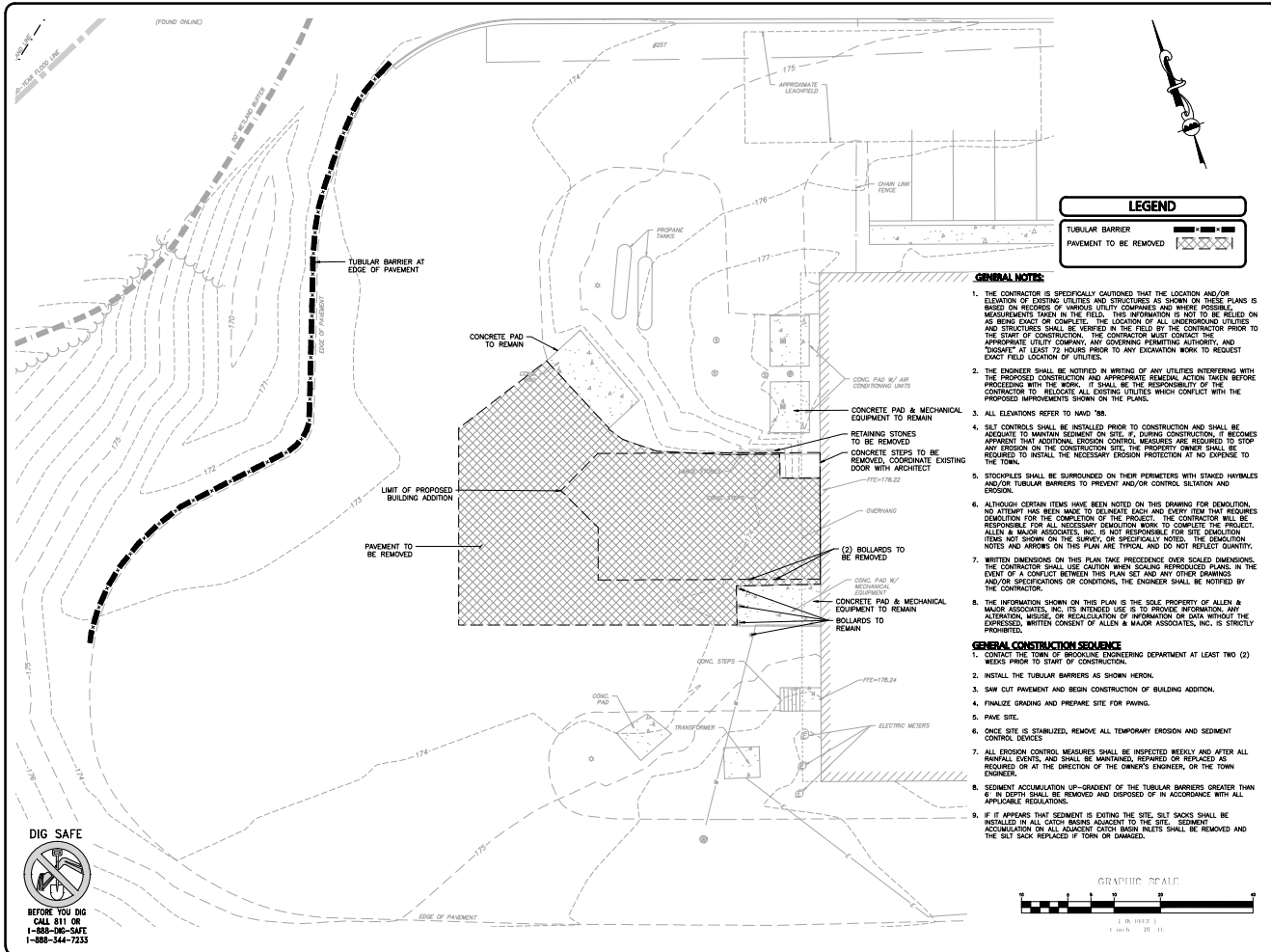
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1-888-344-7233



R:\PROJECTS\182041-1\STATE LINE CONVENIENCE\182041-1_OVERALL.DWG

R:\PROJECTS\1820-1\1\04\UPPERMIDDLE\CONCRETE\1820-1 SITE-IMP.RVT



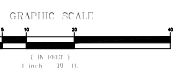
LEGEND	
TUBULAR BARRIER	—●—●—●—●—●—●—●—●—●—
PAVEMENT TO BE REMOVED	▨▨▨▨▨▨▨▨▨▨▨▨▨▨

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES, ANY GOVERNING PERMITTING AGENCY, AND "GASFAST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL ELEVATIONS REFER TO NAVD '83.
4. SILT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT. ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE. THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
5. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED HAYBALES AND/OR TUBULAR BARRIERS TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
6. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DEMONSTRATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE DRAWING, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
7. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR REPRODUCTION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GENERAL CONSTRUCTION SEQUENCE

1. CONTACT THE TOWN OF BROOKLINE ENGINEERING DEPARTMENT AT LEAST TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION.
2. INSTALL THE TUBULAR BARRIERS AS SHOWN HEREON.
3. SAW CUT PAVEMENT AND BEGIN CONSTRUCTION OF BUILDING ADDITION.
4. FINALIZE GRADING AND PREPARE SITE FOR PAVING.
5. PAVE SITE.
6. ONCE SITE IS STABILIZED, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
7. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER ALL WEATHER EVENTS AND SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S ENGINEER, OR THE TOWN ENGINEER.
8. SEDIMENT ACCUMULATION UP-DRAINAGE OF THE TUBULAR BARRIERS GREATER THAN 6" IN DEPTH SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
9. IF IT APPEARS THAT SEDIMENT IS EXITING THE SITE, SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS ADJACENT TO THE SITE. SEDIMENT ACCUMULATION ON ALL ADJACENT CATCH BASINS SHALL BE REMOVED AND THE SILT SACK REPLACED IF TORN OR DAMAGED.



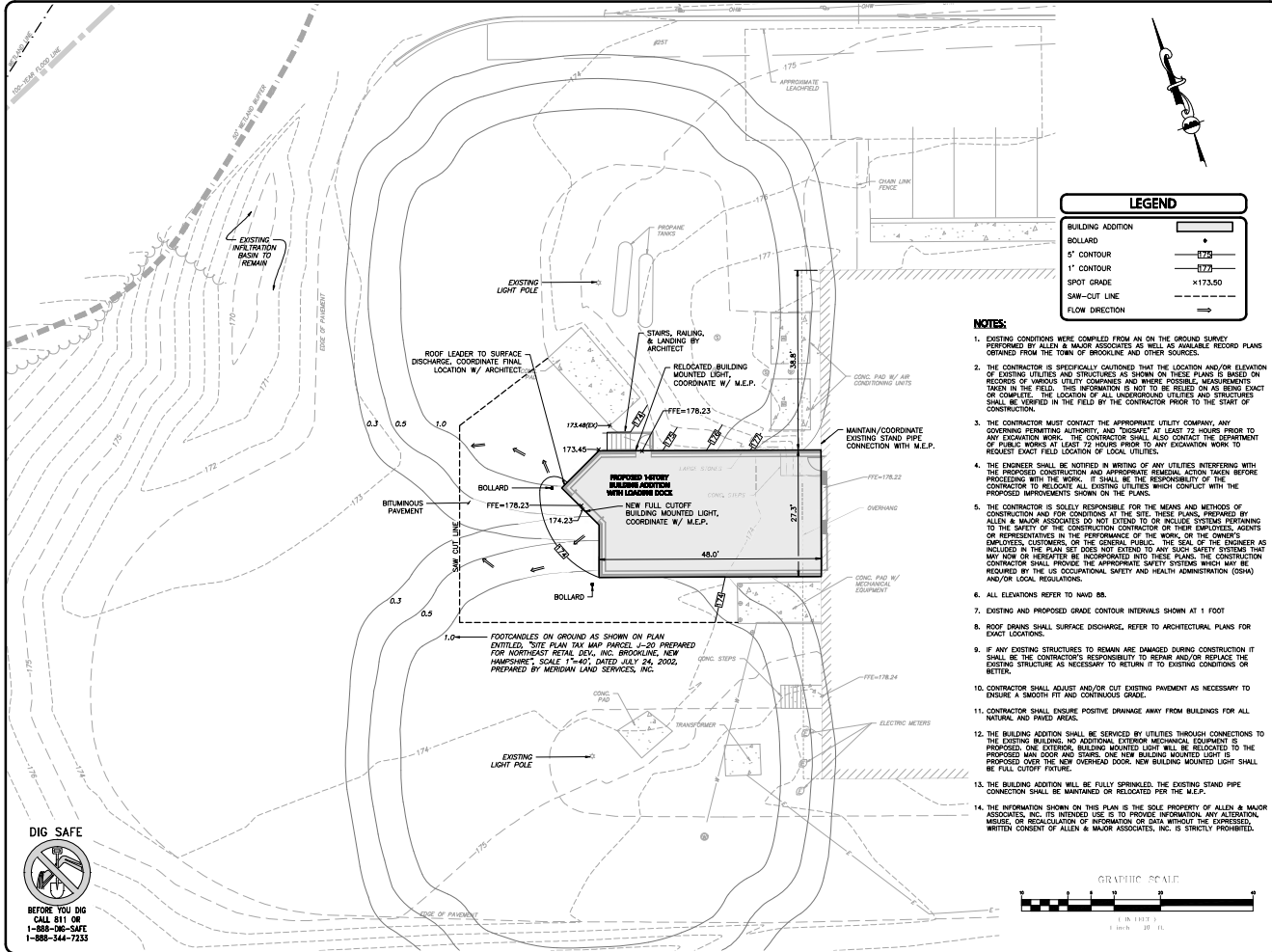
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

PROJECT:

STATE LINE CONVENIENCE BUILDING ADDITION
44 ROUTE 13
BROOKLINE, NH 03033

PROJECT NO. 1820-11	DATE 08-14-20
SCALE: 1"=10'	DRAWING NO: C1820-11.dwg
DRAWN BY: SM	CHECKED BY: MSL
<p>ALLEN & MAJOR ASSOCIATES, INC. civil, mechanical & landscape architecture www.allenmajor.com 400 HARTLEY ROAD MANCHESTER, NH 03104 TEL: 603-482-5500 FAX: 603-482-5501</p>	
<p>WORKS IN: MA • SAKVILLE, MA • MANCHESTER, NH</p> <p>THIS DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND REGULATIONS OF THE STATE OF NEW HAMPSHIRE. IT IS THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ACCURACY OF ALL INFORMATION AND TO BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY STRUCTURE OR SYSTEM. ANY ALTERATION, MISUSE, OR REPRODUCTION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.</p>	
DRAWING TITLE:	SHEET NO.:
STATE PREPARATION PLAN	C-101



LEGEND	
BUILDING ADDITION	[Symbol]
BOLLARD	[Symbol]
5' CONTOUR	[Symbol]
1' CONTOUR	[Symbol]
SPOT GRADE	[Symbol]
SAW-CUT LINE	[Symbol]
FLOW DIRECTION	[Symbol]

- NOTES:**
- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE TOWN OF BROOKLINE AND OTHER SOURCES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISMAY" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
 - THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIATION ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT INTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THIS PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - ALL ELEVATIONS REFER TO NAVD 83.
 - EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 - ROOF DRAINS SHALL SURFACE DISCHARGE, REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FT AND CONTIGUOUS GRADE.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - THE BUILDING ADDITION SHALL BE SERVICED BY UTILITIES THROUGH CONNECTIONS TO THE EXISTING BUILDING. NO ADDITIONAL EXTERIOR MECHANICAL EQUIPMENT IS PROPOSED. ONE EXTERIOR BUILDING MOUNTED LIGHT WILL BE RELOCATED TO THE PROPOSED MAIN DOOR AND STAIRS ONE NEW BUILDING MOUNTED LIGHT IS PROPOSED OVER THE NEW OVERHEAD DOOR. NEW BUILDING MOUNTED LIGHT SHALL BE FULL CUTOFF FIXTURE.
 - THE BUILDING ADDITION WILL BE FULLY SPRINKLED. THE EXISTING STAND PIPE CONNECTION SHALL BE MAINTAINED OR RELOCATED PER THE M.E.P.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

PROJECT:
JBC REALTY TRUST LLC
 18 BAYSHORE DRIVE
 MERIDETH, NH 03253

PROJECT:
STATE LINE CONVENIENCE
BUILDING ADDITION
 44 ROUTE 13
 BROOKLINE, NH 03033

PROJECT NO.	182411	DATE	08-14-20
SCALE	1" = 10'	DRAWING NO.	C182411.dwg
DESIGNED BY:	SM	CHECKED BY:	MS

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DRAWING TITLE:
LAYOUT, GRADING & UTILITIES PLAN

SHEET NO.:
C-102

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