

REFERENCE PLAN

"SUBDIVISION PLAN - TAX MAP PARCELS A-6 & C-9 - LAND OF - JANE E. PROVINS REVOCABLE TRUST OF 1999 - AND - FRANK R. & LAURIE L. BURBEE - PREPARED FOR - GLENDALE HOMES, INC. - HUTCHINSON HILL ROAD & NORTH MASON ROAD, BROOKLINE, NEW HAMPSHIRE" SCALE: AS SHOWN, DATED JANUARY 2, 2014 BY MERIDIAN LAND SERVICES, INC., HCRD PLAN #3800B.

ABUTTER INFORMATION

TAX MAP C-10-1
 JOYCE E. BOURASSA
 34 NORTH MASON
 BROOKLINE, NH 03033
 BK.6376 PG.1245 3/10/01

TAX MAP C-10-2
 SAMANTHA NUSSDORF
 32 NORTH MASON
 BROOKLINE, NH 03033
 BK.8924 PG.994 12/2/16

TAX MAP C-10-3
 DAVID C. & PAMELA RAE LINDOF
 30 NORTH MASON
 BROOKLINE, NH 03033
 BK.6160 PG.1498 9/22/99

TAX MAP D-1-2
 JOHN R. & WENDY S. ORDEMANN
 1 HUTCHINSON HILL ROAD
 BROOKLINE, NH 03033
 BK.8421 PG.2246 4/30/12

TAX MAP D-1-3
 SHERYL INGRAHAM
 1 AMES ROAD
 BROOKLINE, NH 03033
 BK.8826 PG.400 1/26/16

TAX MAP D-1
 TOWN OF BROOKLINE
 PO BOX 360
 BROOKLINE, NH 03033
 BK.8962 PG.2099 4/26/17

TAX MAP D-1-25
 ROSS E. & LAURA J. HUTCHINSON
 2 AMES ROAD
 BROOKLINE, NH 03033
 BK.8106 PG.1807 6/26/09

TAX MAP D-1-23
 DEREK J. JENNIFER L. FRY
 6 AMES ROAD
 BROOKLINE, NH 03033
 BK.8181 PG.1997 2/26/10

TAX MAP D-1-22
 JAMES E. & STACEY A. RIVARD
 8 AMES ROAD
 BROOKLINE, NH 03033
 BK.9176 PG.1921 6/10/19

TAX MAP D-1-21
 COREY J. & KARA M. FRIEDRICH
 10 AMES ROAD
 BROOKLINE, NH 03033
 BK.8827 PG.1346 2/2/16

TAX MAP D-1-20
 RYAN L. & KIMBERLY C. JOHNSON
 12 AMES ROAD
 BROOKLINE, NH 03033
 BK.8274 PG.1901 12/17/10

TAX MAP D-1-19
 YVETTE P. NELSON
 14 AMES ROAD
 BROOKLINE, NH 03033
 BK.8662 PG.2823 5/29/14

LOT LINE TABLE

LINE	BEARING	LENGTH
L1	N05°01'37"W	9.70'
L2	S84°58'23"W	27.77'
L3	S70°43'33"W	52.71'
L4	N19°16'27"W	20.00'
L5	S70°43'33"W	105.00'
L6	N19°16'27"W	20.00'
L7	S70°43'33"W	65.27'
L8	N89°06'58"E	36.99'
L9	N41°05'28"W	71.91'
L10	N05°13'32"W	27.76'
L11	N14°32'15"W	72.81'
L12	N41°30'08"W	104.41'

LOT CURVE TABLE

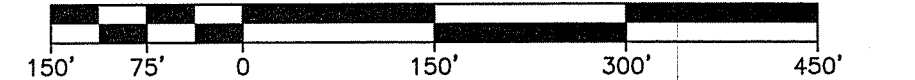
CURVE	RADIUS	LENGTH	DELTA	CHORD DIST.	CHORD DIR.
C1	R=750.00'	L=20.49'	D=1°33'55"	CD=20.49'	CB=S86°24'06"W
C2	R=725.00'	L=98.20'	D=7°45'38"	CD=98.12'	CB=S81°44'19"W
C3	R=365.14'	L=117.20'	D=18°23'25"	CD=116.70'	CB=N79°55'16"E
C4	R=300.00'	L=93.61'	D=17°52'38"	CD=93.23'	CB=N04°39'18"W
C5	R=300.00'	L=75.93'	D=14°30'07"	CD=75.73'	CB=S06°20'33"E
C6	R=500.00'	L=37.67'	D=4°19'02"	CD=37.66'	CB=S03°04'01"W
C7	R=400.00'	L=40.61'	D=5°49'03"	CD=40.60'	CB=N44°24'39"W
C8	R=675.00'	L=121.05'	D=10°16'50"	CD=120.89'	CB=S34°40'05"W

LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- EDGE OF WETLANDS
- - - BUILDING SETBACK LINE
- - - LIMIT OF SCS SOILS
- - - EDGE OF PAVED ROAD
- - - EDGE OF GRAVEL ROAD
- - - 10' CONTOUR INTERVAL
- - - 2' CONTOUR INTERVAL
- STONE WALL
- EDGE OF WATER
- I.P.(f)or(s) IRON PIPE FOUND OR SET
- I.PIN(f)or(s) IRON PIN FOUND OR SET
- ⊙ D.H.(f)or(s) DRILL HOLE FOUND OR SET
- ⊙ G.B.(f)or(s) GRANITE BOUND FOUND OR SET
- ⊙ D.H.(f)or(s) DRILL HOLE FOUND OR SET
- ⊙ UTILITY POLE
- ⊙ WELL
- ▣ EXISTING BUILDING
- ▣ EXISTING SLOPE & GRADING EASEMENT
- POTENTIAL WELL LOCATION W/ PROTECTIVE RADIUS
- ▣ POTENTIAL 4K SEPTIC AREA

(55)* POTENTIAL DRIVEWAY LOCATION
 *(55) DENOTES STREET #

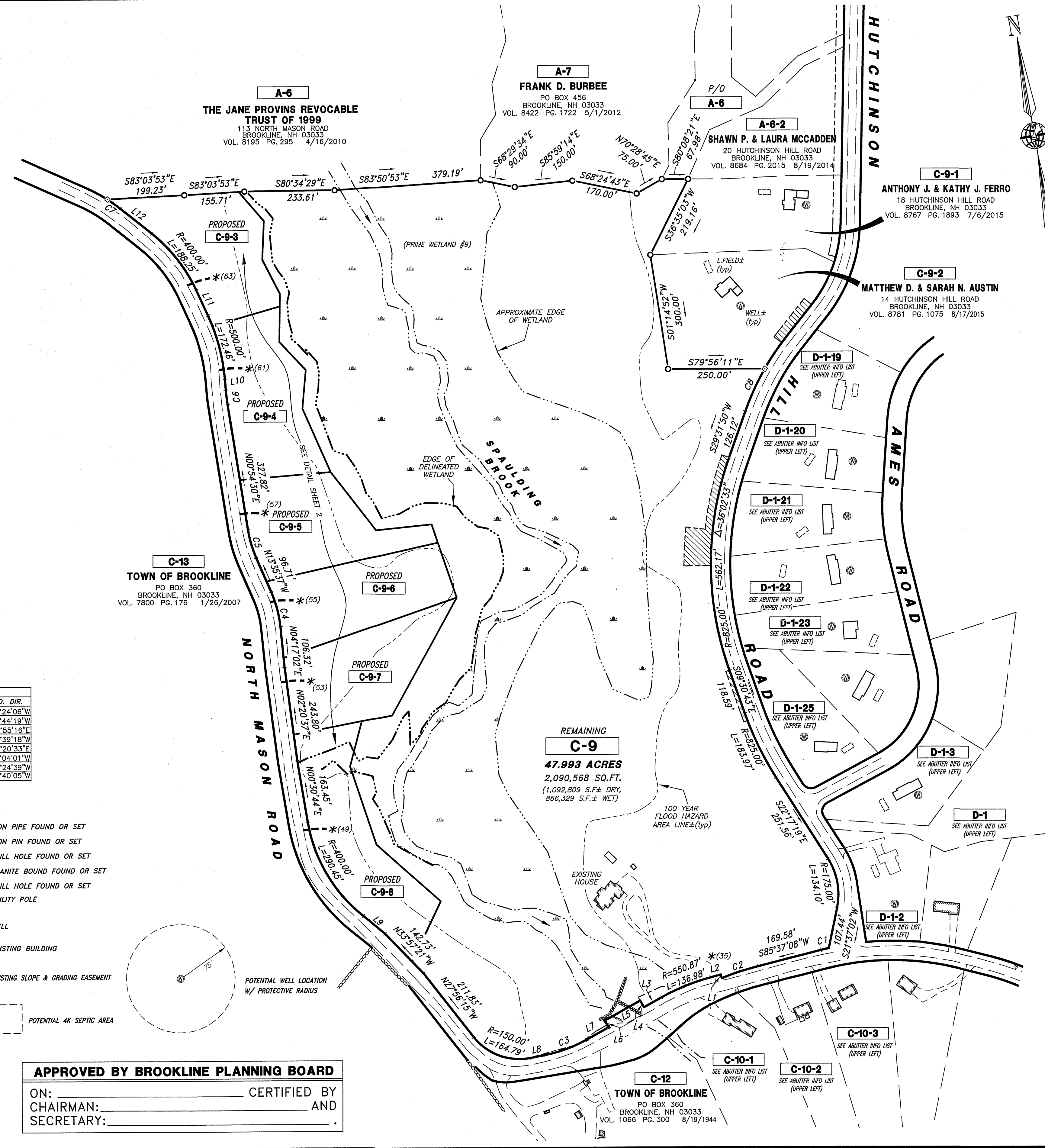
GRAPHIC SCALE



APPROVED BY BROOKLINE PLANNING BOARD

ON: _____ CERTIFIED BY _____ AND _____
 CHAIRMAN: _____
 SECRETARY: _____

REV.	DATE	DESCRIPTION	C/O	DR	CK
D					
C					
B	3/26/2020	ADD PROPOSED CISTERN EASEMENT	BFD	SDI	RAH
A	3/11/2020	UPDATE PER BPB & BCC RW COMMENTS	BPB/BCC	SDI	RAH
REV.	DATE	DESCRIPTION	C/O	DR	CK

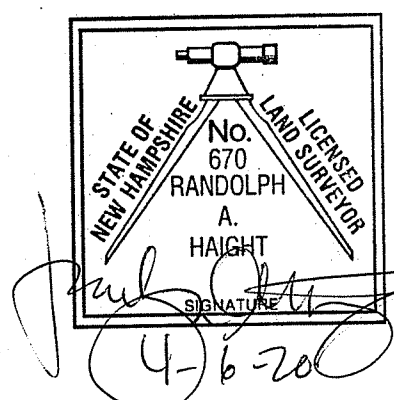


NOTES:

- THE OWNERS OF RECORD OF TAX MAP PARCEL C-9 ARE FRANK D. & LAURIE L. BURBEE - P.O. BOX 456, BROOKLINE, N.H. 03033. DEED REFERENCES ARE VOL. 7595 PG. 2260 DATED DECEMBER 2, 2005 AND VOL. 8002 PG. 1885 DATED JULY 8, 2008 IN THE H.C.R.D.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP PARCELS C-9 INTO 7 RESIDENTIAL LOTS AS SHOWN.
- THE TOTAL AREA OF PARCEL C-9 IS 59.515 ACRES OR 2,592,455 SQ. FT.
- BOUNDARY INFORMATION FOR LOT C-9 AND NEW LOTS C-9-1 THROUGH C-9-8 IS THE RESULT OF A PRECISE BOUNDARY SURVEY PERFORMED BY THIS OFFICE.
- C-9 DENOTES TAX MAP PAGE AND PARCEL NUMBER.
- THE SUBDIVISION REGULATIONS OF THE TOWN OF BROOKLINE ARE PART OF THIS PLAN AND APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING AND ATTACHED HERETO.
- ZONING FOR THE SITE IS RESIDENTIAL-AGRICULTURAL (R-A). MINIMUM LOT SIZE IS 80,000 SQ.FT., WITH 200 FEET OF FRONTAGE. BUILDING SETBACKS ARE 30' FRONT, 15' SIDE & REAR WITH 50' FROM WETLANDS.
- THE SITE LIES PARTIALLY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT (SEE DEPARTMENT OF THE INTERIOR - UNITED STATES GEOLOGICAL SURVEY - PREPARED IN COOPERATION WITH THE - NEW HAMPSHIRE WATER RESOURCES BOARD - AND THE NASHUA REGIONAL PLANNING COMMISSION - WATER RESOURCES INVESTIGATIONS - REPORT 86-4358, PLATES 3 & 4) AND IS SUBJECT TO ALL OF IT'S PROVISIONS.
- THE SITE LIES PARTIALLY WITHIN THE 100 YEAR FLOOD HAZARD BOUNDARY AS DEPICTED ON FIRM COMMUNITY PANEL NOS. 3301100485D & 3301100470D, EFFECTIVE DATE OF 9/25/09 AND PARTIALLY WITHIN PRIME WETLAND #9.
- FIRE PROTECTION FOR THE SITE IS PROVIDED FROM EXISTING DRAFTING SITES AT THE INTERSECTION OF SOUTH SPAULDING BROOK ROAD WITH NORTH MASON ROAD, AT THE INTERSECTION OF AMES ROAD & WITHEE ROAD AND THE INTERSECTION OF SPAULDING BROOK WITH NORTH MASON ROAD.
- N.H.D.E.S. SUBDIVISION APPROVAL NUMBER IS PENDING.
- A LETTER FROM A LICENSED LAND SURVEYOR TO THE TOWN STATING THAT ALL THE MONUMENTS HAVE BEEN SET WILL BE REQUIRED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED FOR EACH LOT.
- IF LOT C-9 IS FURTHER SUBDIVIDED AND AN OPEN SPACE DESIGN IS USED, THE MINIMUM OPEN SPACE AREA REQUIRED WILL BE CALCULATED USING 64.105 ACRES AS THE BASE AREA, PER REFERENCE PLAN.
- LOTS C-9-3 THROUGH C-9-8 ARE SUBJECT TO AN IMPACT FEE, PER THE BROOKLINE ZONING SECTION 2100, IN FOUR SEPARATE AMOUNTS: \$222.14 (FOR AMBULANCE FACILITY), \$1304.24 (FOR THE BROOKLINE SCHOOL SYSTEM), \$1843.47 (FOR THE HOLLIS/BROOKLINE COOP MIDDLE SCHOOL), AND \$345.83 (FOR THE NEW POLICE BUILDING). THE IMPACT FEES ARE PAYABLE TO THE TOWN OF BROOKLINE AT THE TIME OF THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IS ISSUES FOR EACH LOT.
- ALL UTILITIES SERVICING PROPOSED LOTS SHALL BE UNDERGROUND.

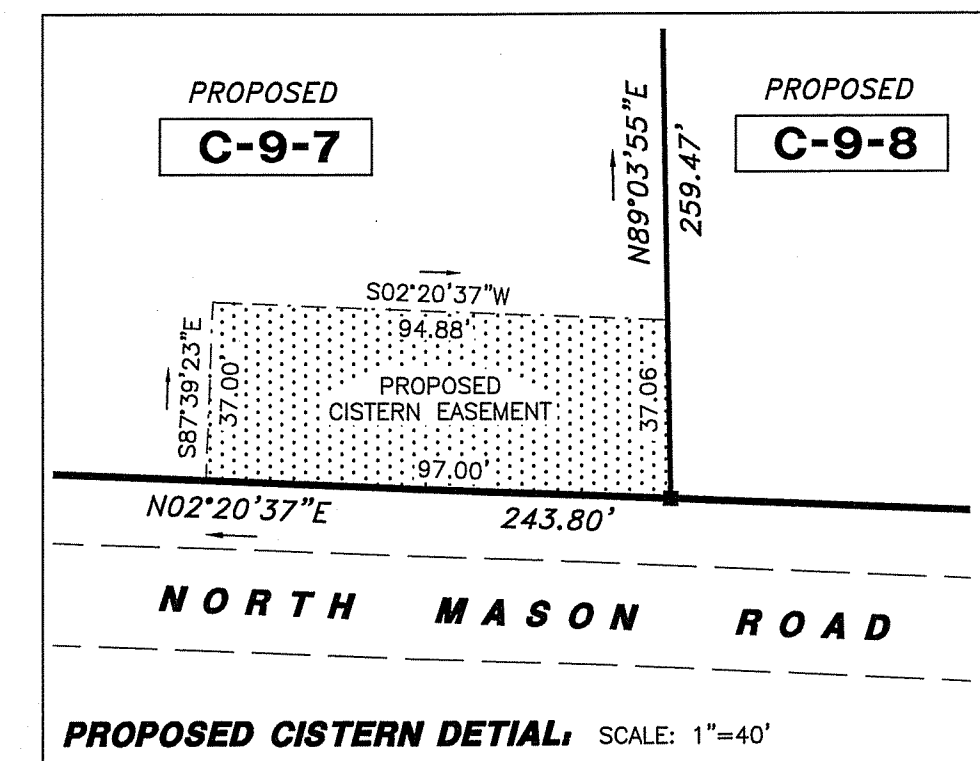
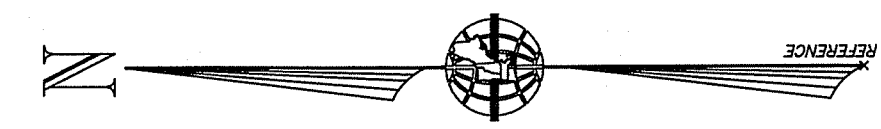
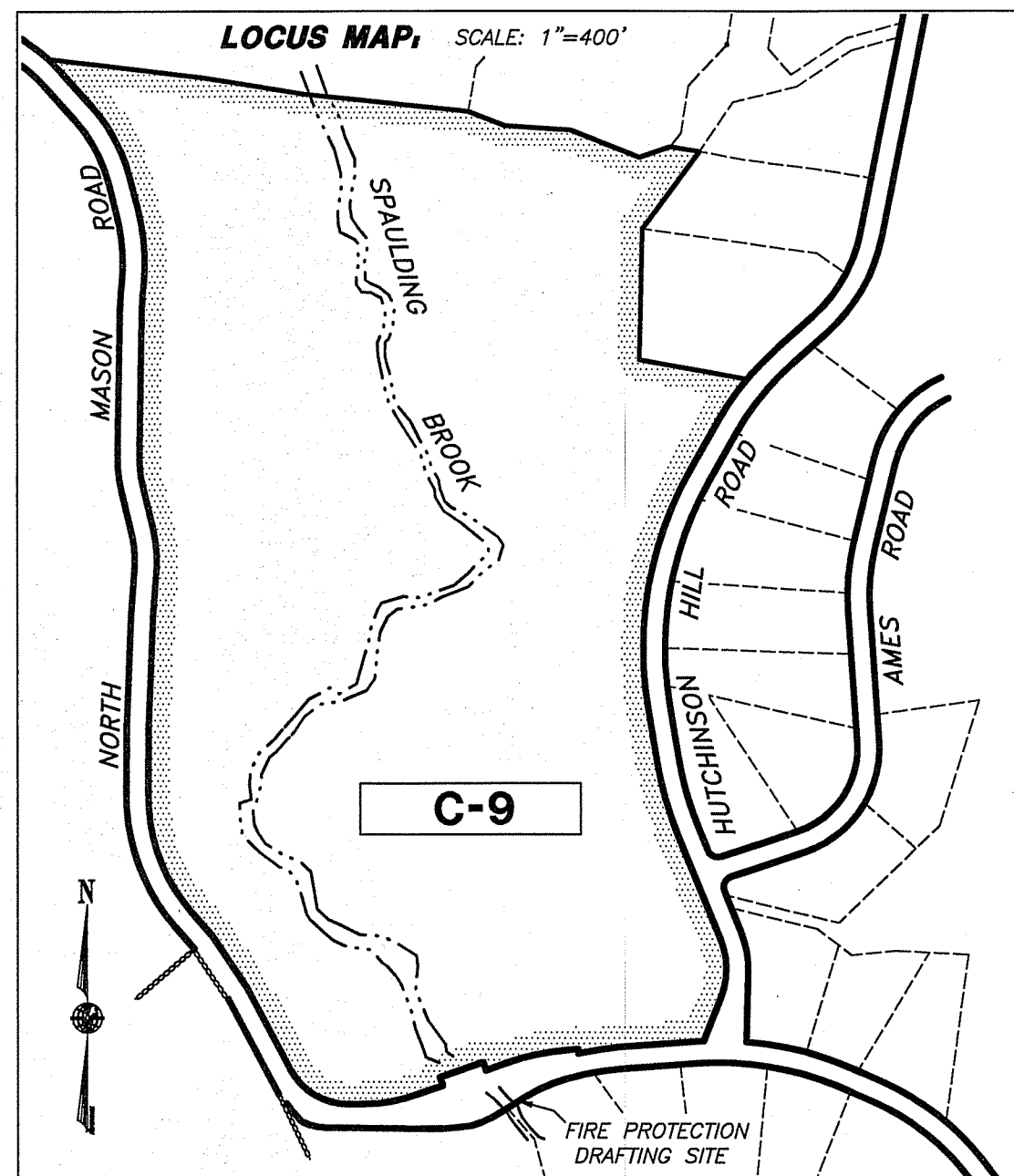
CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION SHOWN IS THE RESULT OF A FIELD SURVEY MADE ON THE GROUND PER THE PRECISION AND ACCURACY STANDARDS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN THE NEW HAMPSHIRE LAND SURVEYOR'S ADMINISTRATIVE RULES (LAN 503.04) AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING SAID LOTS."



SUBDIVISION PLAN
 LAND OF:
FRANK D. & LAURIE L. BURBEE
 PREPARED FOR:
COLINBROOKE HOMES, LLC
 TAX MAP C LOT 9
 NORTH MASON ROAD
 BROOKLINE, NEW HAMPSHIRE
 SCALE: 1" = 150'
 FEBRUARY 12, 2020

MERIDIAN
 LAND SERVICES, INC.
 ENGINEERING | SURVEYING | PERMITTING
 SOIL & WETLAND MAPPING | SEPTIC DESIGN
 31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
 MERIDIANLANDSERVICES.COM FAX 603-673-1584



WETLAND NOTE:

WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 AND THE NORTHEAST REGIONAL SUPPLEMENT, BY JASON C. BOLDUC (WETLAND APPRENTICE) AND THOMAS E. CARR (C.W.S.) OF THIS OFFICE IN OCTOBER, 2019. TEST PIT DATA WAS OBSERVED BY JASON C. BOLDUC AND THOMAS E. CARR, NH SEPTIC DESIGNERS OF THIS OFFICE AND INDICATES THE LAND IS SUITABLE FOR DEVELOPMENT.

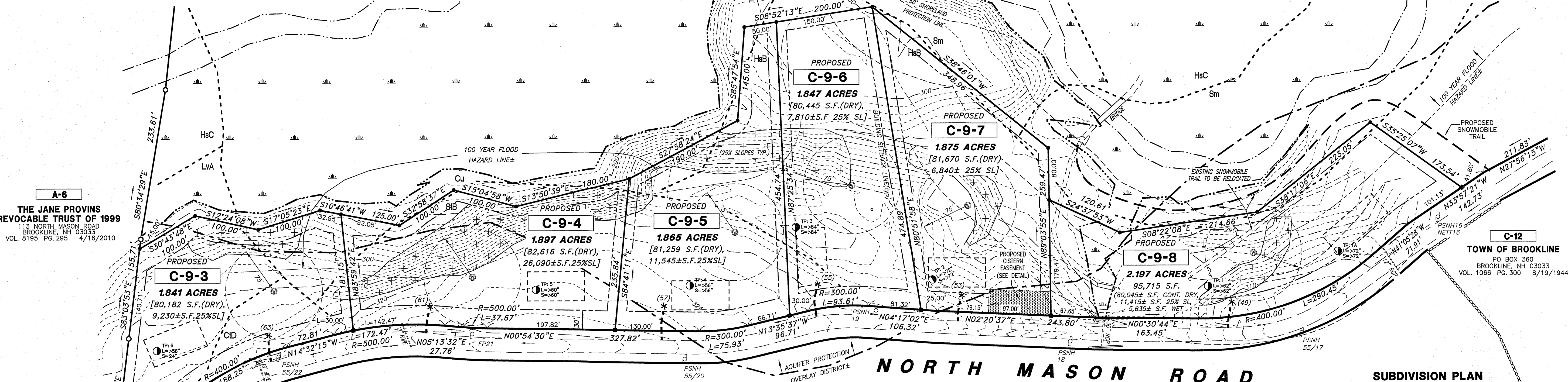
SOILS LEGEND:

- U.S.D.A., S.C.S. SOIL BOUNDARY
- CaD - CANTON FINE SANDY LOAM, 15-25% SLOPES
- Cu - CHOCORUA MUCKY PEAT
- HsB - HINCKLEY LOAMY SAND, 3-8% SLOPES
- HsC - HINCKLEY LOAMY SAND, 8-15% SLOPES
- Sm - SACO VARIANT SILT LOAM
- SIB - SCITUATE STONY FINE SANDY LOAM, 3-8% SLOPES

APPROVED BY BROOKLINE PLANNING BOARD

ON: _____ CERTIFIED BY
 CHAIRMAN: _____ AND
 SECRETARY: _____

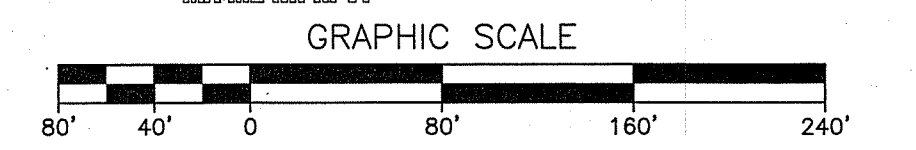
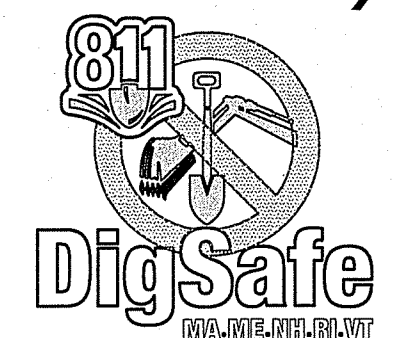
NOTE:
 SEE SHEET 1 FOR NOTES AND REFERENCE PLAN.



A-6
 THE JANE PROVINS
 REVOCABLE TRUST OF 1999
 113 NORTH MASON ROAD
 BROOKLINE, NH 03033
 VOL. 8195 PG. 295 4/16/2010

C-12
 TOWN OF BROOKLINE
 PO BOX 360
 BROOKLINE, NH 03033
 VOL. 1066 PG. 300 8/19/1944

C-13
 TOWN OF BROOKLINE
 PO BOX 360
 BROOKLINE, NH 03033
 VOL. 7800 PG. 176 1/26/2007

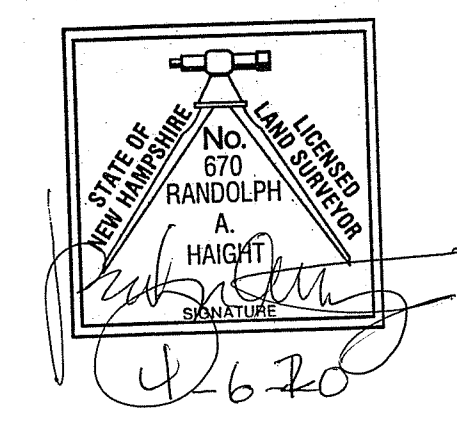


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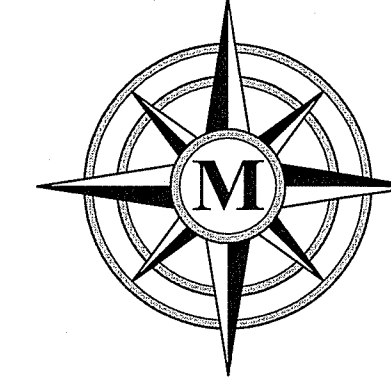
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- UTILITY POLE
- ⊙ WELL
- ▨ EXISTING BUILDING
- ▨ EXISTING SLOPE & GRADING EASEMENT
- ⊙ POTENTIAL WELL LOCATION W/ PROTECTIVE RADIUS
- POTENTIAL 4K SEPTIC AREA
- ⊙ POTENTIAL DRIVEWAY LOCATION (55) DENOTES STREET #
- ⊕ SLOPES > 25%

CERTIFICATION:

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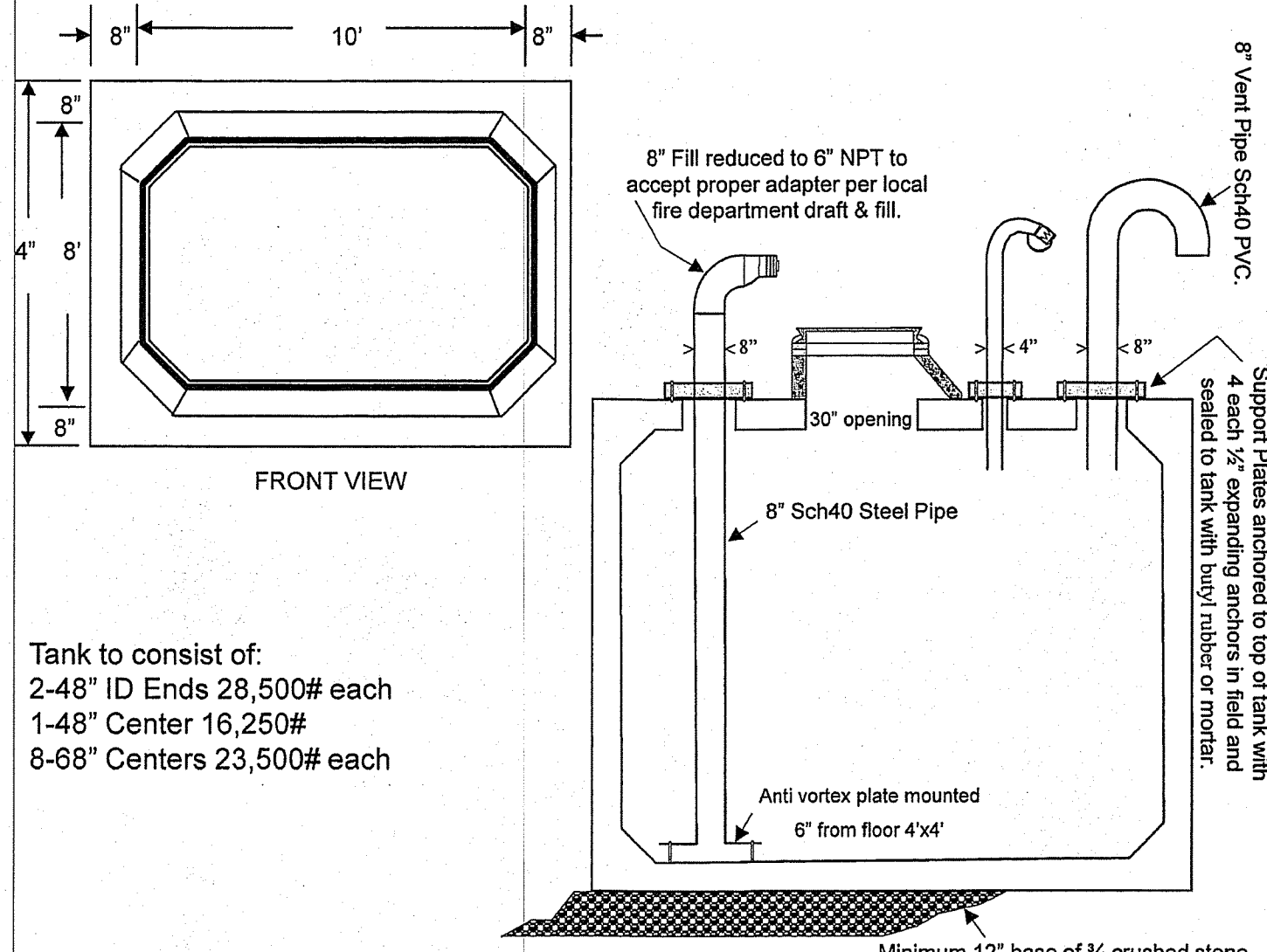
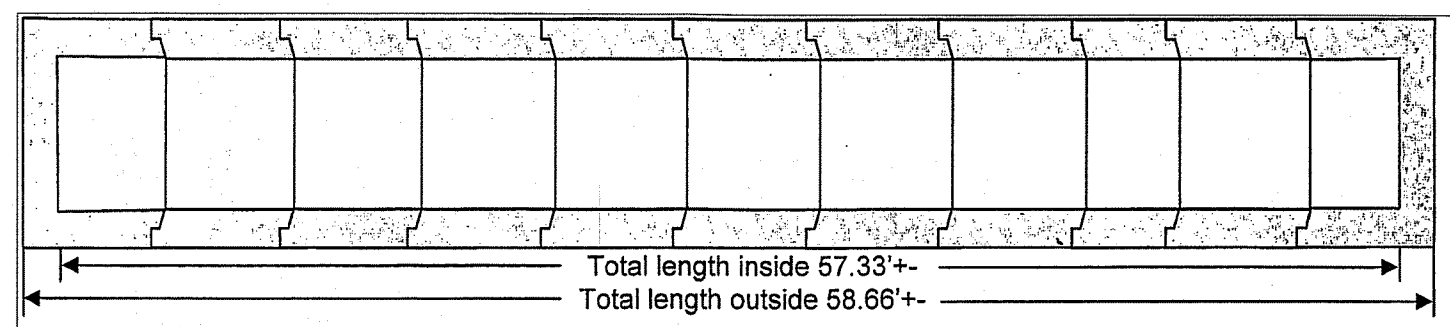


SUBDIVISION PLAN
 LAND OF:
FRANK D. & LAURIE L. BURBEE
 PREPARED FOR:
COLINBROOKE HOMES, LLC
 TAX MAP C LOT 9
 NORTH MASON ROAD
 BROOKLINE, NEW HAMPSHIRE
 SCALE: 1" = 80' FEBRUARY 12, 2020



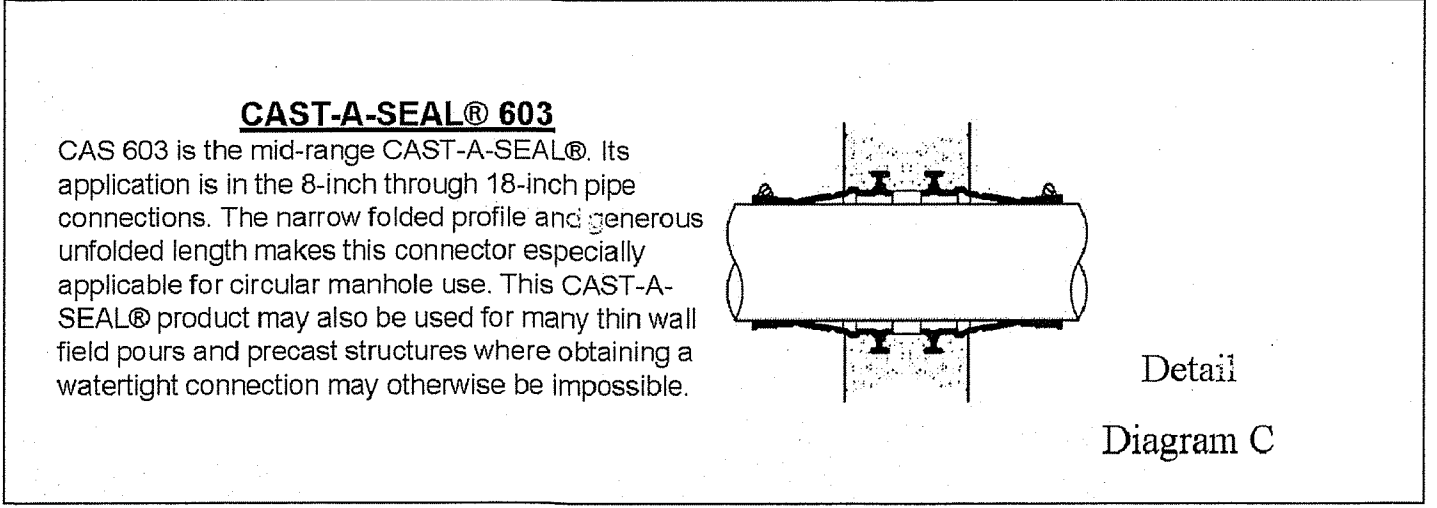
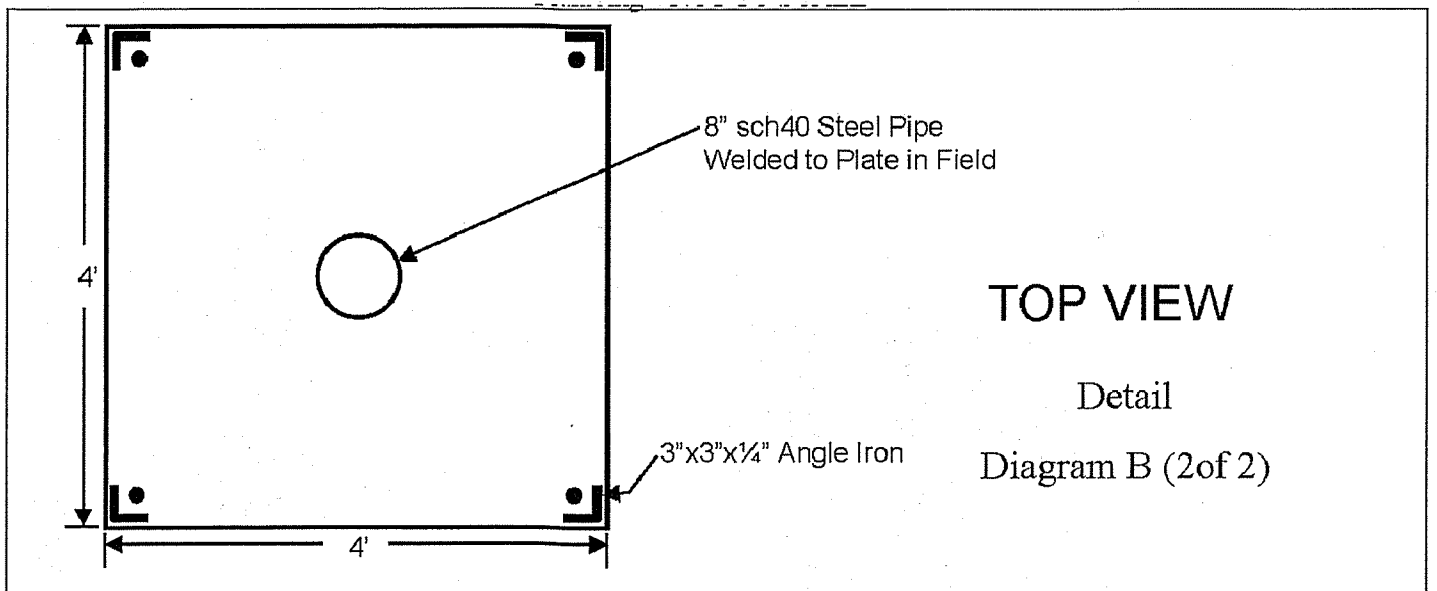
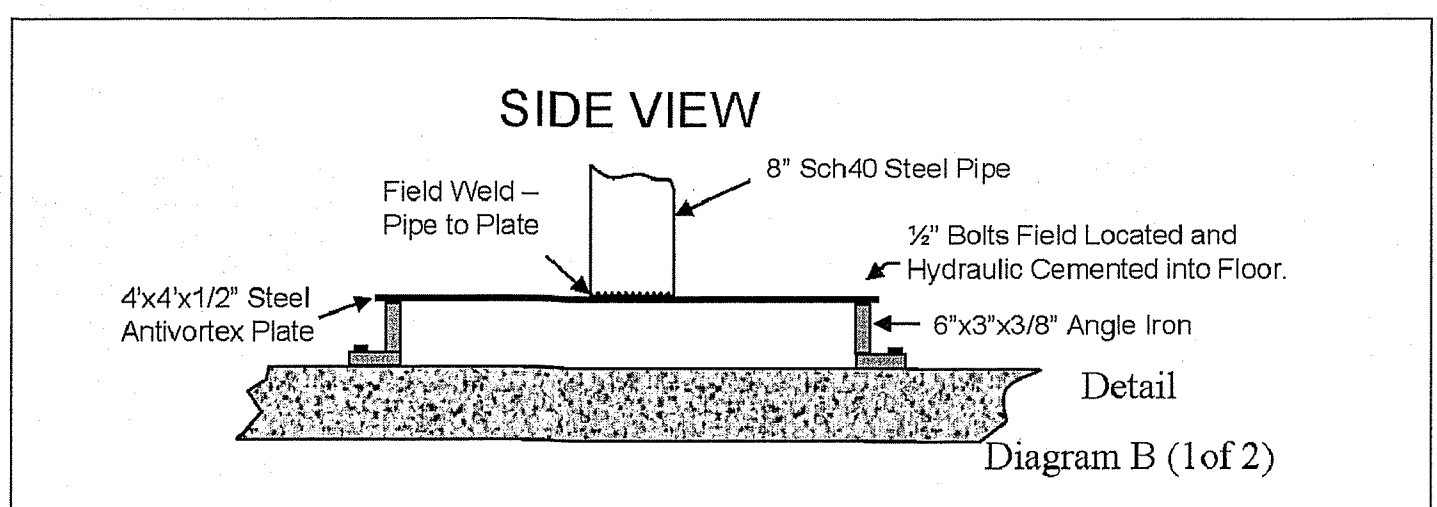
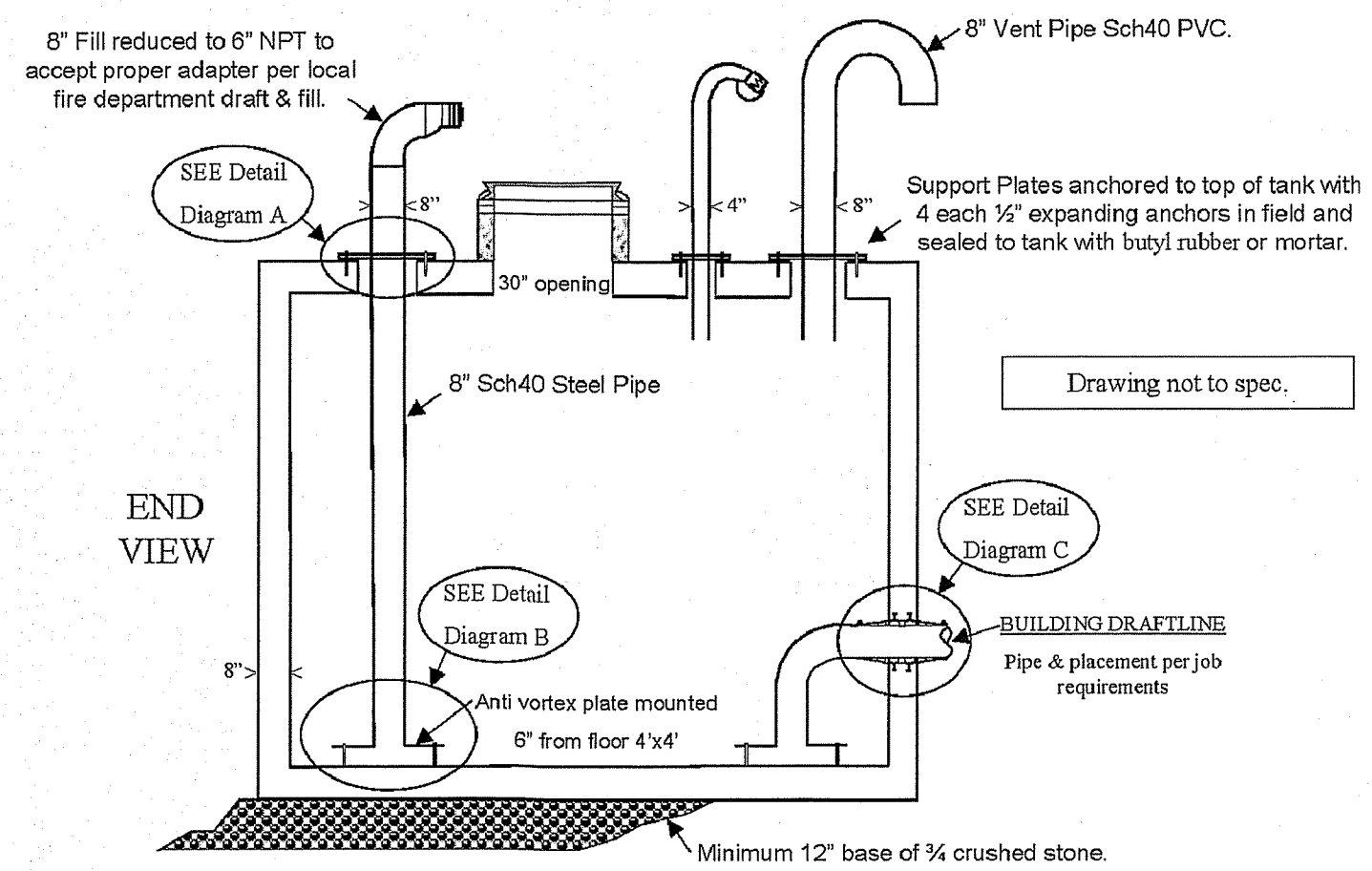
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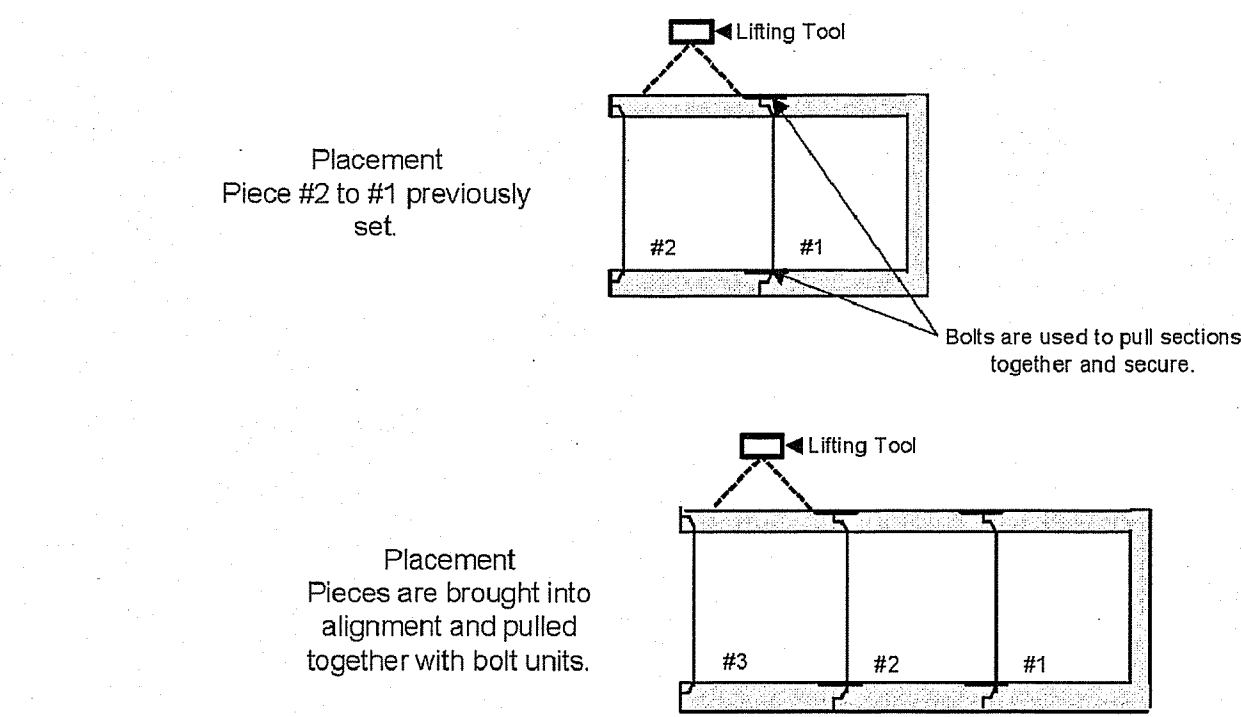
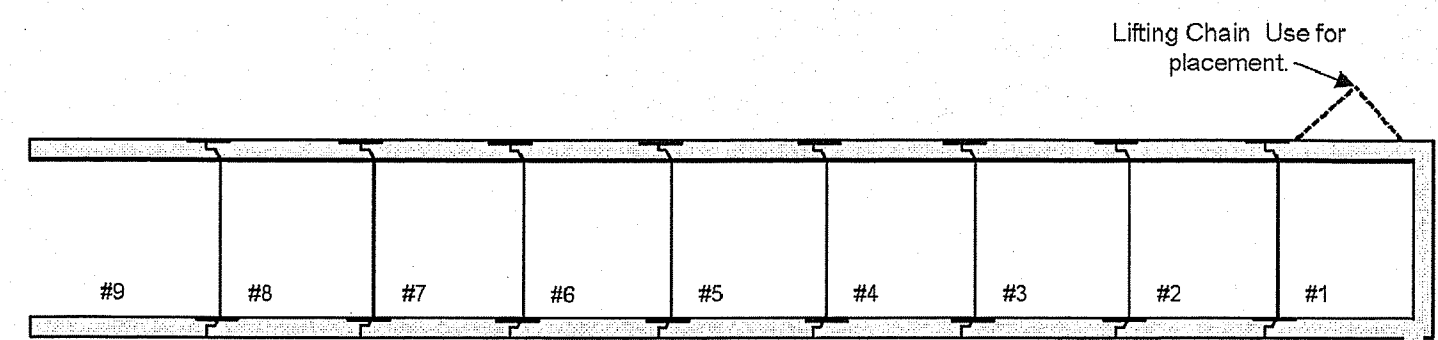


Tank to consist of:
 2-48" ID Ends 28,500# each
 1-48" Center 16,250#
 8-66" Centers 23,500# each

- Concrete strength f_c 5000PSI@28 days. Density 150 PCF.
- Cement, Portland Type II or III, ASTM C150-81
- Admixtures, air & plasticizers per ASTM C233-82
- Reinforcement per ASTM A615 for wire fabric and Grade 60 rebar
- Design Loading AASHTO HS20-40
- Construction joints sealed with butyl rubber & grouted after backfill
- Access & Piping per job specs.

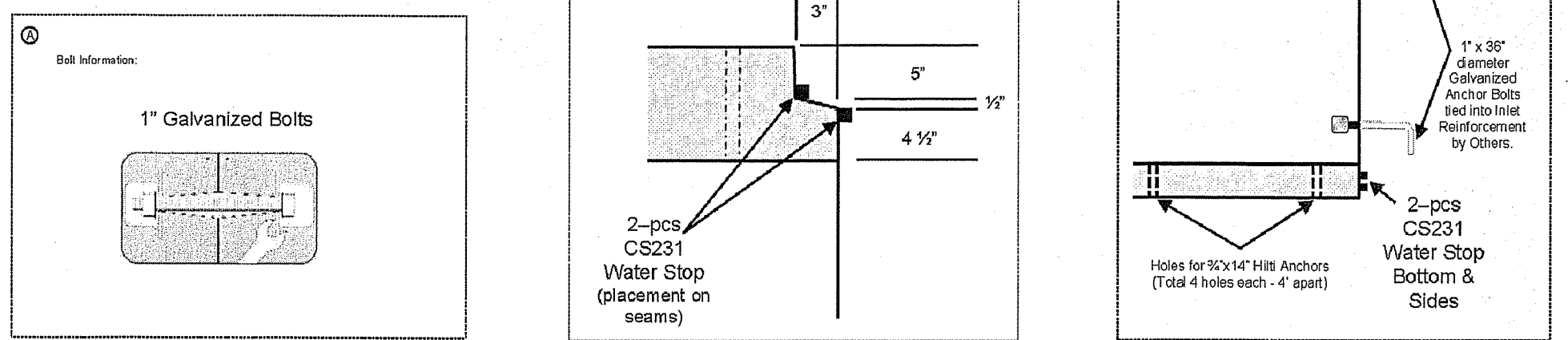


- NOTES:**
1. THE SECTION CONTAINING PLUMBING SHALL BE LOCATED AT THE MIDPOINT OF THE 30,000 GALLON TUNNEL TANK FIRE CISTERN.
 2. THE ORIENTATION OF THE PLUMBING SHALL BE COORDINATED WITH THE TOWN OF BROOKLINE FIRE DEPARTMENT.
 3. ALL TANKS SHALL HAVE ACCESS THROUGH A 30" MANHOLE COVER WITH RISERS AS REQUIRED TO FINISH GRADE. ALL ACCESS COVERS SHALL HAVE A LOCKING BAR DEVICE.
 4. FOUNDATION OF TANKS SHALL BE 3/4" CRUSHED STONE, MINIMUM 12" THICK. 1.5" BANK RUN GRAVEL SHALL BE USED FOR BACKFILL SURROUNDING THE TANKS. BACKFILL SHALL BE PLACED IN A MINIMUM OF 12" LIFTS AND COMPACTED WITH HAND OPERATED COMPACTION EQUIPMENT.
 5. SUCTION PIPE CONNECTION SHALL BE 24" - 36" ABOVE THE FINISH WHEEL GRADE.
 6. 2" OF VERMIN PROOF INSULATION SHALL SUPPLIED AND INSTALLED BY CONTRACTOR TO MIN. OF 2' BELOW FINISHED GRADE ELEVATION.
 7. ANY CONFLICTS OR CHANGES TO SPECIFICATIONS SHALL BE REVIEWED BY THE FIRE DEPT. OR DESIGNEE AND THE SPECIFICATIONS AS DESCRIBED IN THE PREVIOUS APPROVAL SHALL GOVERN.
 8. ALL WORK TO BE INSPECTED BY THE BROOKLINE FIRE DEPARTMENT OR ITS DESIGNEE.
 9. PAINTING OF THE PIPING AND BOLLARDS SHALL BE PROVIDED BY THE OWNER/CONTRACTOR PRIOR TO FINAL APPROVAL.
 10. ALL PIPE CONNECTIONS SHALL BE CONSISTENT WITH BROOKLINE FIRE DEPT. STANDARDS.
 11. APPROACH TO THE CISTERN SHALL BE PAVED TO TOWN OF BROOKLINE STANDARD ROAD SPECIFICATIONS FOR GRAVEL AND PAVEMENT.



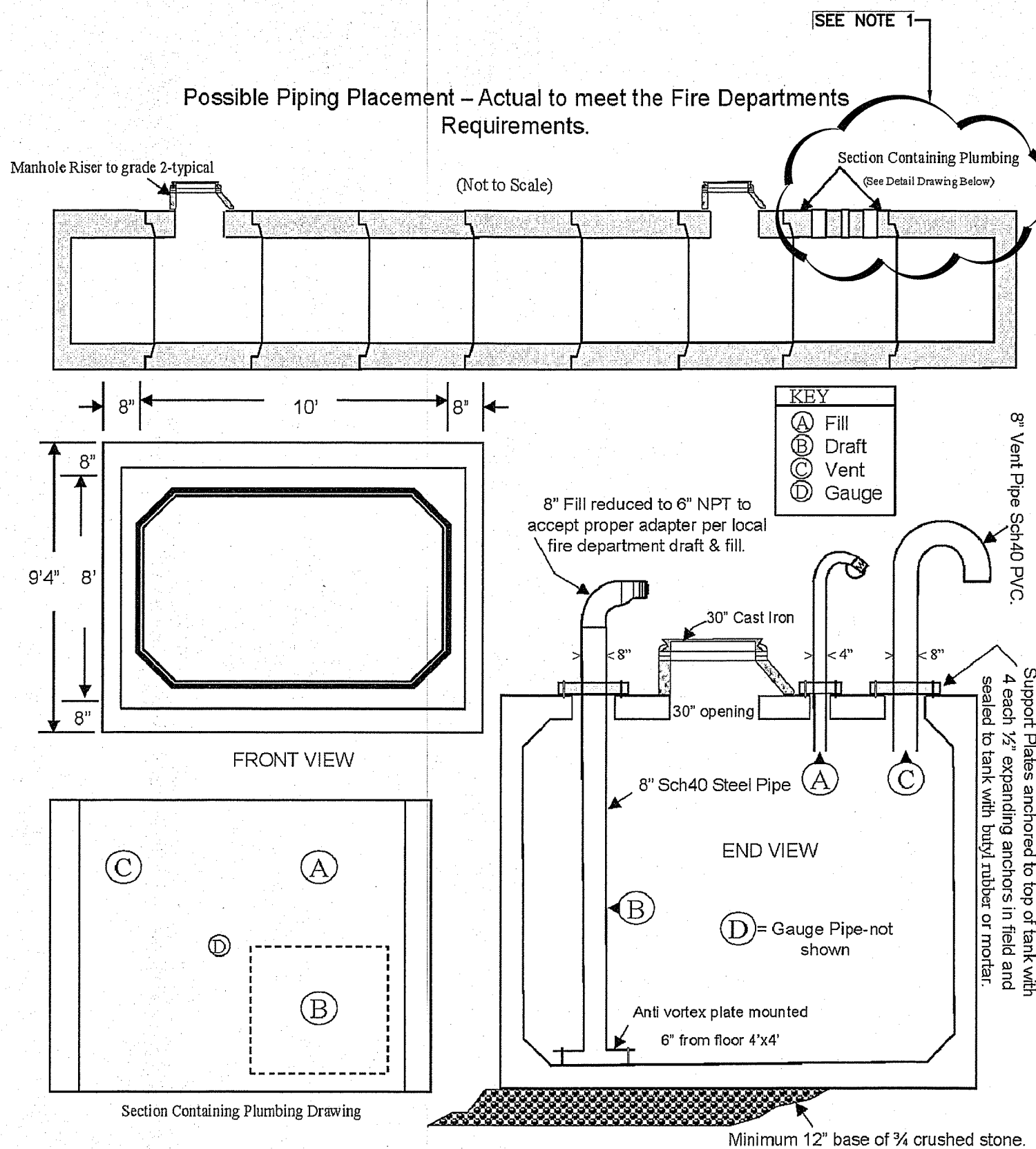
1. Concrete strength f_c 5000PSI@28 days. Density 150 PCF.
2. Cement, Portland Type II or III, ASTM C150-04
3. Admixtures, air & plasticizers per ASTM C231-04 C494/C494M-04
4. Design Loading Coopers E80
5. Construction joints sealed with 1" butyl rubber
6. Thru holes provided for Hoisting Eyes to be Grouted closed upon installation.
7. 6" Bed of 3/4" to 1 1/2" stone Base Min.
8. Properly placed & compacted backfill required to maintain structure in place.

TUNNEL TANK 2
D-1



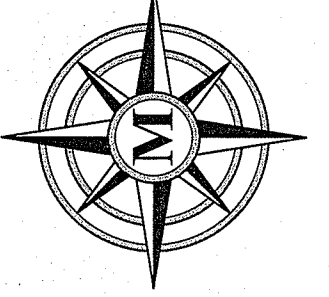
1. Concrete strength f_c 4000PSI@28 days. Density 160 PCF.
2. Cement, Portland Type II or III, ASTM C150-04
3. Admixtures, air & plasticizers per ASTM C231-04 C494/C494M-04
4. Design Loading H20
5. Construction joints sealed with 1" butyl rubber - CS231 Water Expanding Butyl
6. Thru holes provided for Hoisting Eyes to be Grouted closed upon installation.
7. Properly placed & compacted backfill required to maintain structure in place.

TUNNEL TANK - BOLT DETAIL 3
D-1



FIRE CISTERN

MERIDIAN
 LAND SERVICES, INC.
 ENGINEERING | SURVEYING | PERMITTING
 SOIL & WETLAND MAPPING | SEPTIC DESIGN
 31 OLD WASHINGTON ROAD, AMHERST, NH 03811
 MERIDIANLANDSERVICES.COM
 TEL: 603-672-1341
 FAX: 603-672-1384



REV.	DATE	DESCRIPTION	DR	CK

COLINBROOKE HOMES
 PROPOSED SUBDIVISION
 CISTERN DETAILS

COLINBROOKE HOMES, LLC
 NORTH MASON ROAD
 MAP C LOT 9
 BROOKLINE, NEW HAMPSHIRE

D-1
 SHEET
 FILE: 636V02-CISTERN.dwg
 PROJECT 7636.02
 SHEET NO. 4 OF 4

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