

**REFERENCE PLANS:**

- "SUBDIVISION PLAN - PREPARED FOR - RANDOLPH A. & KAREN A. - HAIGHT - BROOKLINE, N.H." SCALE: 1"= 40' DATED NOV. 9, 1982 BY THOMAS F. MORAN, INC. (HCRD PLAN #15573).
- "SUBDIVISION - PLAN OF LAND - CHARLES D. & FRANCES C. KOWALSKI - BROOKLINE, NEW HAMPSHIRE" SCALE: 1"=50' DATED MARCH 25, 1986 BY THOMAS F. MORAN, INC., (HCRD PLAN #19228).
- "BOUNDARY SURVEY OF LAND - OWNED BY - SILAS H. WHEELER, JR. AND - MARY C. WHEELER - MILFORD STREET - BROOKLINE, N.H." SCALE: 1"= 100' DATED MAY 28, 1990 BY AUSTIN PARKHURST, (HCRD PLAN #24639).

**LEGEND:**

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- EDGE OF WETLANDS
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- WIRE FENCE
- I.P.(F) IRON PIPE FOUND
- I.PIN(F) IRON PIN FOUND
- D.H.(F) DRILL HOLE FOUND
- G.B.(F) GRANITE BOUND FOUND
- D.H.(S) DRILL HOLE SET
- UTILITY POLE AND GUY WIRE
- ⊙ WELL
- EXISTING BUILDING
- (123) DENOTES STREET NUMBER
- GRANITE BOUND OR DRILL HOLE TO BE SET
- IRON PIN OR DRILL HOLE TO BE SET
- \* POTENTIAL DRIVEWAY LOC.
- ⊗ POTENTIAL STUMP
- ⊕ COMPOST AREA

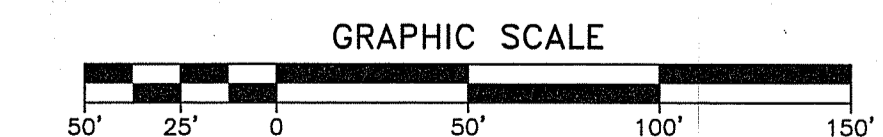
**SOILS INFORMATION:**

HsA HINCKLEY LOAMY SAND, 0-3% SLOPES  
 HsD HINCKLEY LOAMY SAND, 15-25% SLOPES  
 DeA DEERFIELD LOAMY FINE SAND, 0-3% SLOPES  
 Sm SACO VARIANT SILT LOAM

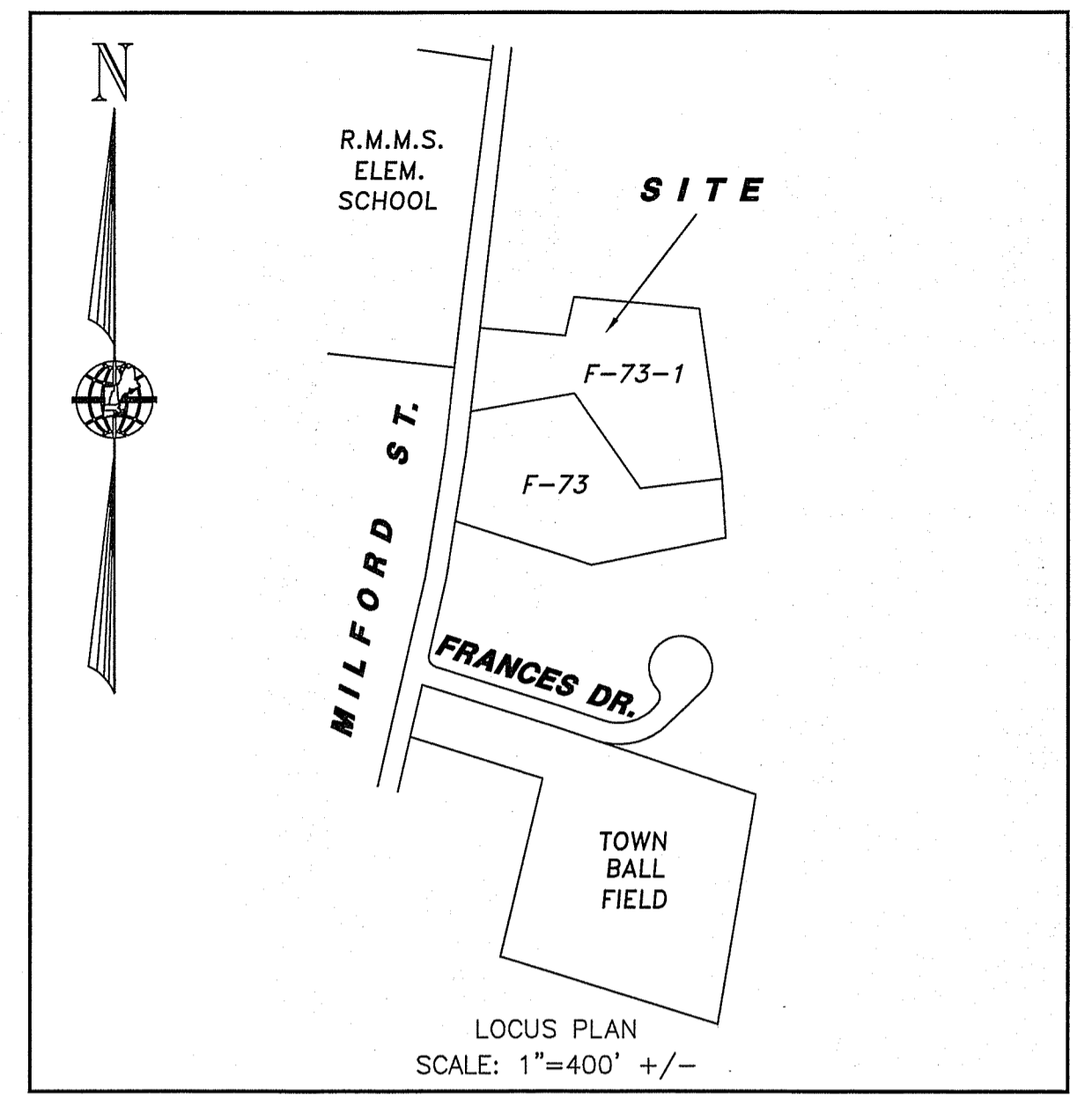
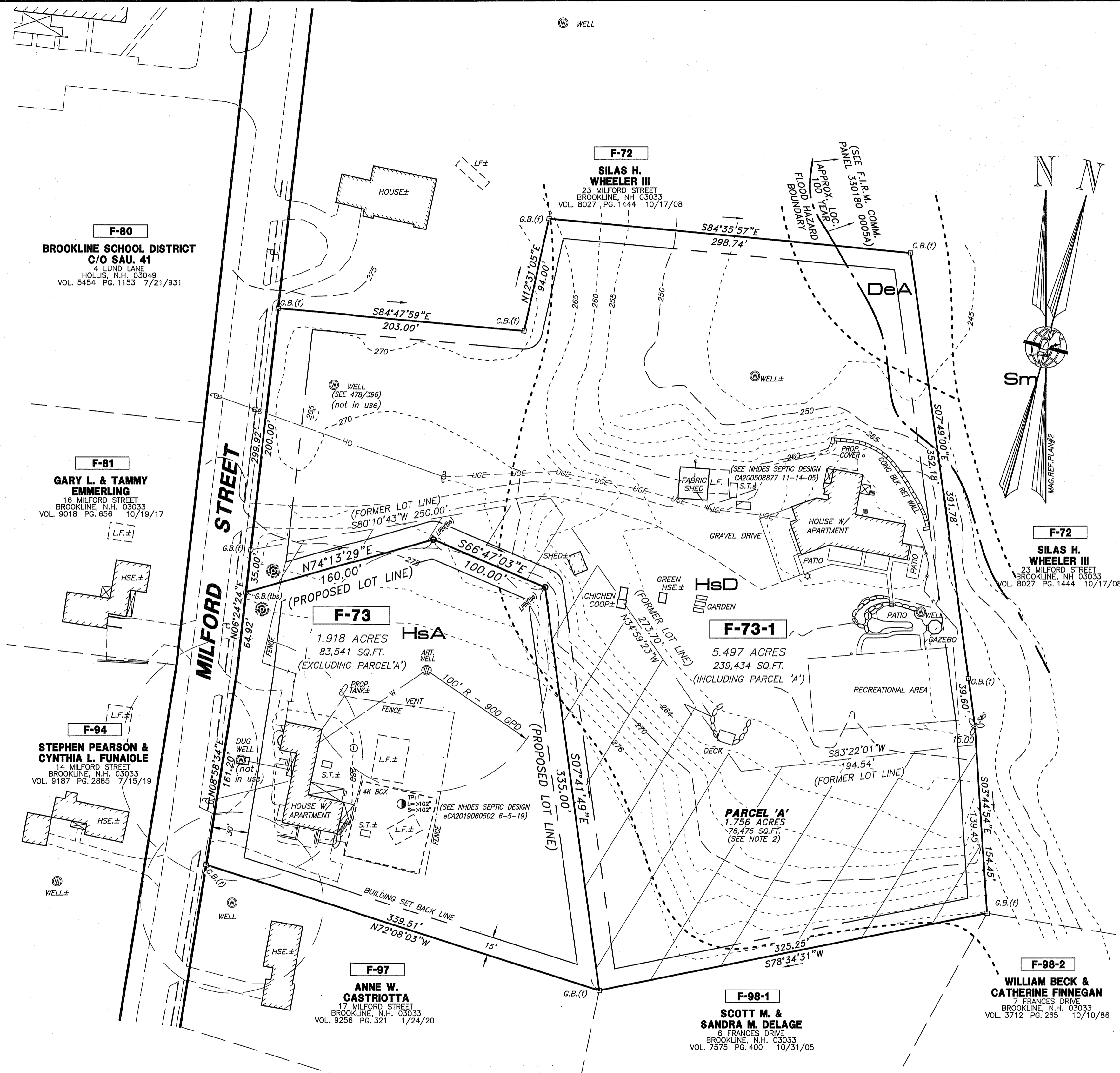
THE SOILS INFORMATION SHOWN WAS DEVELOPED FROM THE USASCS SOIL SURVEY OF HILLSBOROUGH CO., EASTERN PART, SHEET 26 DATED OCT., 1981

THE TOPOGRAPHIC INFORMATION SHOWN WAS DEVELOPED FROM AN ONSITE FIELD SURVEY BETWEEN 1982 & 2002, DATUM IS NGVD 1929.

LOT CHART			
LOT NO.	FORMER	PROPOSED	FINAL
F-73	3.673 ACRES 160,014 SQ.FT.	1.918 ACRES 83,541 SQ.FT.	1.918 ACRES 83,541 SQ.FT.
F-73-1	3.742 ACRES 162,980 SQ.FT.	5.497 ACRES 239,434 SQ.FT.	5.497 ACRES 239,434 SQ.FT.
PARCEL 'A'	---	1.756 ACRES 76,475 SQ.FT.	---



REV.	DATE	DESCRIPTION	C/O	DR	CK
D	---	---	---	---	---
C	---	---	---	---	---
B	---	---	---	---	---
A	4-6-20	ADD LEGEND & NOTE 8	BPB	RAH	---



- NOTES:**
- THE OWNERS OF RECORD OF TAX MAP PARCEL F-73 ARE RONALD W. & SARAH R. MARCHANT, TRUSTEES OF THE MARCHANT JOINT REVOCABLE TRUST OF 2018 - 21 MILFORD ST. - BROOKLINE, N.H. DEED REFERENCE IS VOL. 9063 PG. 2115 DATED 4/5/18 IN THE H.C.R.D.  
 THE OWNERS OF RECORD OF TAX MAP PARCEL F-73-1 ARE KAREN A. & RANDOLPH A. HAIGHT - 21A MILFORD ST. - BROOKLINE, N.H. DEED REFERENCES ARE VOL. 8016 PG. 1721 DATED 9/5/08 AND VOL. 3117 PG. 817 DATED 1/16/84 WITH A LANDSCAPE EASEMENT IS IN VOL. 6937 PG. 2221 DATED 5/15/03 IN THE H.C.R.D.
  - TOTAL AREA OF THE SITE IS 7.415 ACRES OR 322,994 SQ. FT.
  - THE PURPOSE OF THIS PLAN IS TO REVISE THE COMMON LOT LINE OF LOTS F-73 & F-73-1 BY ADDING PARCEL 'A' TO LOT F-73-1 AS SHOWN.
  - F-73 DENOTES TAX MAP PAGE AND PARCEL NUMBER (19) DENOTES STREET NUMBER.
  - THE SITE IS CURRENTLY SERVICED BY ONSITE WELLS & SEPTIC SYSTEMS WITH OVERHEAD & UNDERGROUND UTILITIES.
  - ZONING FOR THE SITE IS RESIDENTIAL/AGRICULTURAL. MINIMUM LOT FRONT-AGE IS 200' WITH 80,000 SQ.FT. OR 30' WITH 5 ACRES LOT SIZE. BUILDING SETBACKS ARE 30' FRONT, 15' SIDE & REAR WITH 50' FROM WETLANDS. THE SITE LIES PREDOMINATELY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT AND IS SUBJECT TO ALL OF IT'S PROVISIONS.
  - LOT F-73 HAS THE BENEFIT OF A SPECIAL EXCEPTION TO ALLOW THE EXISTING ACCESSORY DWELLING UNIT ABOVE THE BARN ATTACHED TO THE HOME, SEE ZBA CASE #424, DATED 12-11-19.
  - NHDES SUBDIVISION APPROVAL NUMER IS SA2020032702.

**LOT LINE REVISION PLAN**  
**TAX MAP F, LOTS 17 & 17-1**  
**LAND OF:**  
**MARCHANT JOINT**  
**REVOCABLE TRUST OF 2018**  
**AND**  
**RANDOLPH & KAREN HAIGHT**  
**19 & 21 MILFORD STREET**  
**BROOKLINE, NEW HAMPSHIRE**  
 SCALE: 1" = 50' MARCH 11, 2020

**MERIDIAN**  
**LAND SERVICES, INC.**  
 ENGINEERING | SURVEYING | PERMITTING  
 SOIL & WETLAND MAPPING | SEPTIC DESIGN  
 31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441  
 BROOKLINE, N.H. 03033 MERIDIANLANDSERVICES.COM FAX 603-673-1584

**APPROVED BY BROOKLINE PLANNING BOARD**  
 ON: \_\_\_\_\_ CERTIFIED BY  
 CHAIRMAN: \_\_\_\_\_ AND  
 SECRETARY: \_\_\_\_\_

**CERTIFICATION:**  
 "I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."  
 4-6-20